



# MEMORANDUM

To: Zoning Board of Appeals  
From: Kariline P. Littlebear, Zoning Administrator  
Date: February 21, 2024  
Re: Case 24-02  
1664 N Milford Rd  
11-15-376-008  
Applicant: Michael Bruns  
Owner: Jeff Bruns

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The subject parcel is zoned IM – Industrial Manufacturing District. This is Iverson’s lumber yard and showroom. The parcel size is approximately 2.67 acres. The parcel to the south addressed as 1570 N. Milford Rd is also part of the same business, also zoned IM, and is also 2.67 acres.

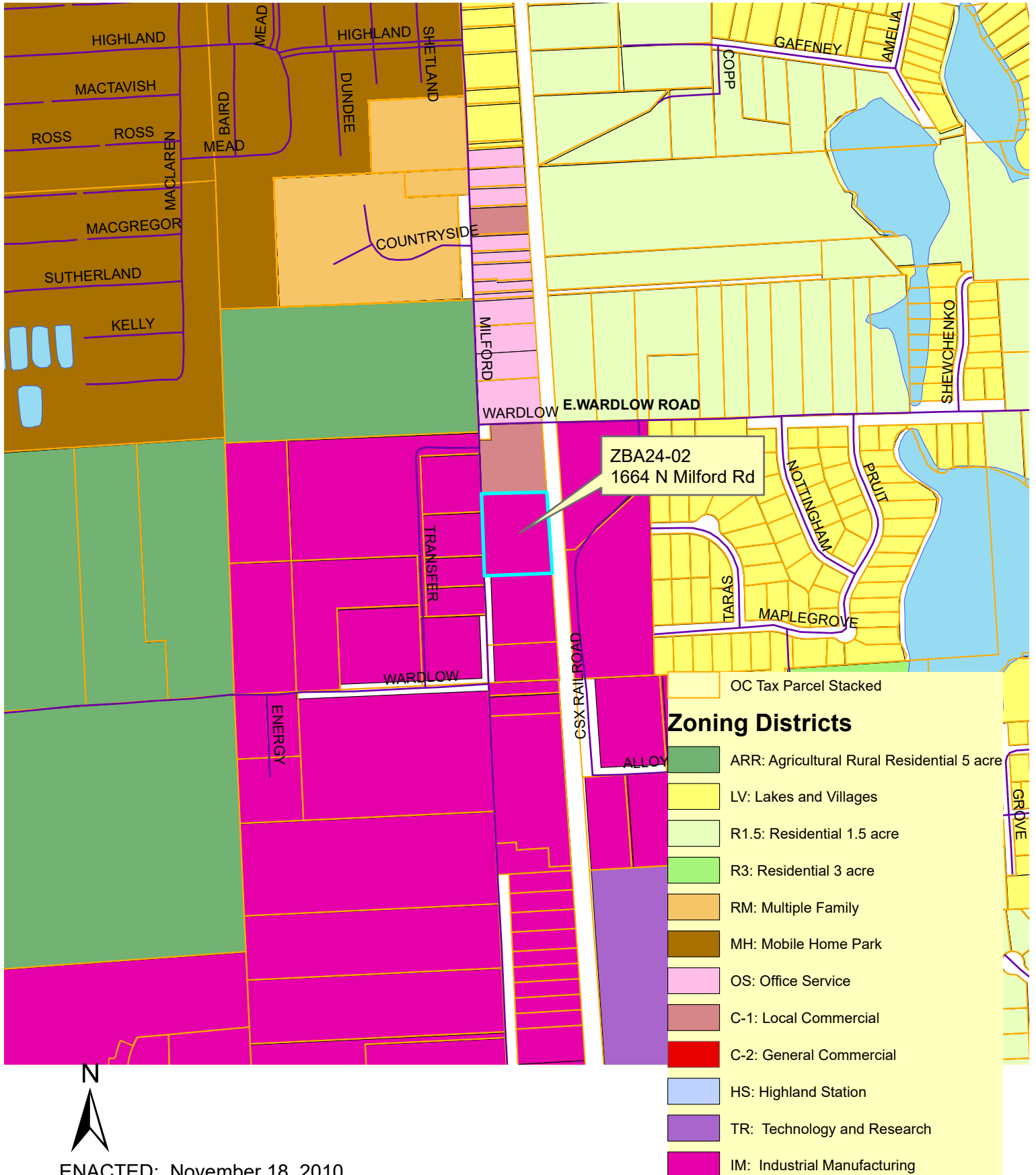
The required setbacks for this parcel are as follows:

Front yard: 75 feet  
Rear yard: 40 ft  
Side yards: 20 ft

This request is for a 23-foot 6-inch variance from the required 75-foot front yard setback to 51-foot 6-inches provided for an industrial storage building 55-feet 8-inches by 181-feet with a 10-foot by 181-foot roof overhang for outdoor storage. This request is for a variance from Table 4.15. of the Zoning Ordinance.

The applicant has provided a scaled site plan and elevations. Staff has supplied assessing records, a zoning map, an aerial approximation of the property, and Table 4.15 of the Zoning Ordinance.

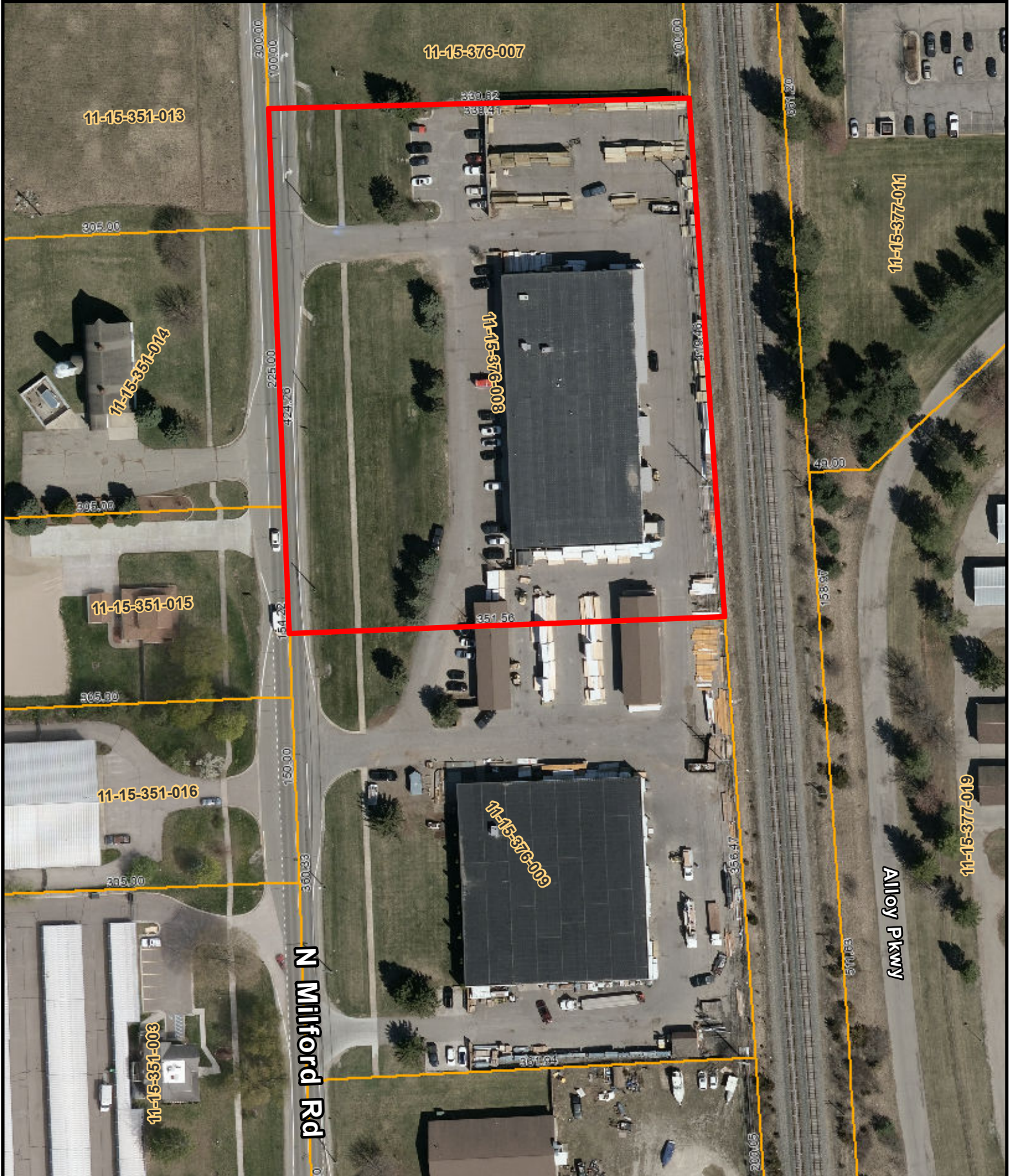
# CHARTER TOWNSHIP OF HIGHLAND ZONING MAP



ENACTED: November 18, 2010



# 1664 N Milford Rd



Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.

**OAKLAND COUNTY MICHIGAN**  
 Economic Development & Community Affairs  
**David Coulter**  
 Oakland County Executive

Date Created: 1/16/2024  
  
 NORTH  
 1 inch = 100 feet





Midwest Glass Fabricators

Trackster Supply

Welton Lawn Care

Irrigation Solutions

W Wardlow Rd

Transfer Dr

RT Sales

Sterling Pump Systems

N Milford Rd

Iverson's Lumber Company

N Milford Rd

Dale Young & Sons Collision

Loyal Order of Moose

N Milford Rd

Dt Manufacturing

Alloy Pkwy

White Cap

LaFontaine Collision

QUALITY POWDERCOAT &



Case # 24-02

Hearing Date 2/21/24

CHARTER TOWNSHIP OF HIGHLAND ZONING BOARD OF APPEALS  
APPLICATION FOR APPEAL

APPLICANT
NAME: <u>Michael Bruns</u>
ADDRESS: <u>Bruns Consulting</u> <u>2120 Watkins Road</u> <u>Ft. Recovery, OH 45846</u>
PHONE: <u>(419) 852-2467</u>
EMAIL: <u>Mike@BrunsConsultingllc.com</u>

OWNER
NAME: <u>Jeff Bruns</u>
ADDRESS: <u>Schockman Lumber Co.</u> <u>342 W Columbus Street</u> <u>St. Henry, OH 45883</u>
PHONE: <u>(419) 852-4096</u>
EMAIL: <u>Schockman Jeff Bruns@yahoo.com</u>

PROPERTY ADDRESS: Iverson Lumber Co.  
1664 N Milford Road, Highland, MI ZONING: IM

PROPERTY TAX ID NO: 11-15-376-008

ORDINANCE SECTIONS BEING APPEALED: \_\_\_\_\_  
Table 4.15 Schedule of Regulations, Code of Ordinances.

VARIANCES REQUESTED: We are requesting to construct a lumber storage building 23'-6" across the 75' set-back line for front yards in IM districts.  
The building is 55'8" x 181' with a 10' x 181' overhang

DESCRIBE THE NATURE OF YOUR PRACTICAL DIFFICULTY: The narrowing of the existing lot minimizes the buildable area for a proposed structure. The proposed structure will be used to store 2x4 thru 2x12 lumber inside. Currently dimensional lumber is stored outside and creates health concerns due to mold growth from wet lumber. The proposed building location closely matches (below)

I certify that all required information is shown on the attached plan and included on this form. I acknowledge that by signing this application, I am granting the right of the Zoning Board of appeals members, inspectors and administrators to conduct a site inspection of the subject property. All statements are true to the best of my knowledge.

SIGNATURE OF OWNER: Michael Bruns DATE: 1-15-2024  
SIGNATURE OF APPLICANT: Jeff Bruns DATE: 1-15-24  
Signature of applicant must be notarized.

Subscribed and sworn to before me this  
15 day of January, 2024  
Kathryn K. Gonzalez Notary Public  
My Commission expires 2-28-25



KATHRYN K GONZALEZ  
Notary Public  
State of Ohio  
My Comm. Expires  
February 28, 2025

APPLICATION FEE: <u>\$275.00</u>
Receipt# _____ Date Paid _____
Received by _____

the adjacent properties



CHARTER TOWNSHIP OF HIGHLAND  
ZONING BOARD OF APPEALS  
WORKSHEET

The worksheet is designed to help you understand the appeal process and to help you submit a complete application for review by the Zoning Board of Appeals. If you have any questions after reading this worksheet you may contact the Planning and Zoning Department for assistance.

**HAVE YOU MET ALL OF THE FOLLOWING CRITERIA?**

- 1) Do the characteristics of the property include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation or other similar characteristics? If so, please describe here.

The existing lot narrows on the North side of the lot. Therefore, the shorter dimension along the North side of the lot creates the need for a variance.

- 2) Can the project be redesigned to meet the zoning requirements without the need for a variance?

The building is proposed to be 47'-9" off the east property line. We need about 50' along this side of the buildings for maneuvering trucks. We need a 5 bay/181' structure to store all sizes/species of dimensional lumber.

- 3) Is the reason for a variance request of a personal nature? (for example: financial impact, physical and/or mental characteristics of the household members, inconvenience, etc.)

The reason for the variance is to construct a building that will store dimensional lumber to minimize any health concerns. Lumber that is stored outside increases the growth of mold and other environmental concerns.



- 4) Has the difficulty been created by the current or previous owner?

No - the difficulty has been created due to storage needs resulting from environmental concerns.

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- 5) Will the proposed variance be harmful to or alter the essential character of the area in which the property is located?

Based on the Google Earth site plan that was submitted, the adjacent buildings are as close or closer to the right-of-way than the proposed building location that we are requesting.

- 6) Will the proposed variance be the minimum necessary?

The proposed variance is necessary to maneuver trucks along the east side of the property and store the dimensional lumber.

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Signature Michael Burns



**Sec. 4.15. Schedule of Regulations.**

TABLE 4.1. SCHEDULE OF REGULATIONS

Zoning District	Minimum Lot Size		Maximum Building Height (B)		Minimum Yard Setback (C, D, E, P)					Max. Lot Coverage	Min. Floor Area per Dwelling Unit
	Area	Lot width	Stories	Feet	Front	Least Side	Total Side	Rear	Ordinary High Water Mark	Percent	Square Feet
ARR Q	5 acres (L)	330 ft.	2	28 (A)	75 ft. (G)	40 ft.	80 ft.	100 ft. (R)	65 ft.	10%	1,000 (750 first floor)
R-3	3 acres (L)	200 ft.	2	28 (A)	75 ft. (G)	40 ft.	80 ft.	100 ft. (R)	65 ft.	10%	1,000 (750 first floor)
R-1.5	65,000 sq. ft. (M)	150 ft.	2	28 (A)	50 ft. (G)	30 ft.	60 ft.	50 ft.	65 ft.	15%	1,000 (750 first floor)
LV (H)	---	---	---	---	---	---	---	---	65 ft.	---	---
RM (I)	---	---	---	---	---	---	---	---	65 ft.	---	---
MH (J)	---	---	---	---	---	---	---	---	65 ft.	---	---
OS	30,000 sq. ft. (N)	120 ft.	2	25	80 ft. (F)	20 ft.	50 ft.	50 ft.	65 ft.	30%	N/A
C-1	30,000 sq. ft. (N)	120 ft.	2	25	80 ft. (F)	20 ft.	50 ft.	50 ft.	65 ft.	30%	N/A
C-2	30,000 sq. ft. (N)	150 ft.	2	25	80 ft. (F)	20 ft.	50 ft.	50 ft.	65 ft.	30%	N/A
C-3	30,000 sq. ft. <sup>N</sup>	150 ft.	2	25	80 ft. <sup>F</sup>	20 ft. <sup>S</sup>	50 ft. <sup>S,T</sup>	50 ft. <sup>S,T</sup>	65 ft.	varies <sup>U</sup>	N/A
HS (K)	---	---	---	---	---	---	---	---	65 ft.	---	---
TR (O)	30,000 sq. ft. (N)	150 ft.	2	30	40 ft. (F)	20 ft.	40 ft.	40 ft.	65 ft.	30%	N/A
IM (O)	30,000 sq. ft. (N)	150 ft.	2	30	75 ft. (F)	20 ft.	40 ft.	40 ft.	65 ft.	30%	N/A

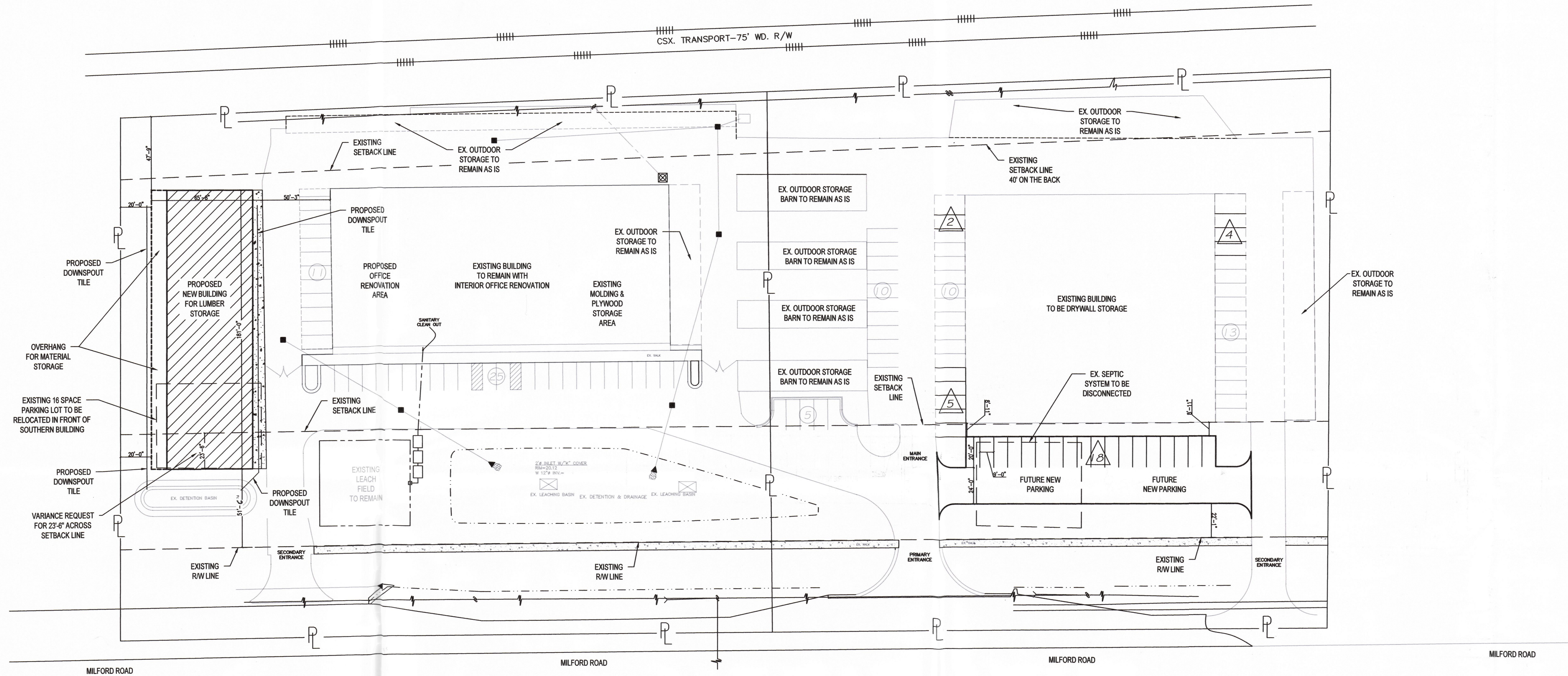


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- A. For residential principal and accessory structures, the structure shall be designed so that firefighters can access the roof at multiple locations by means of a standard fire ladder.
  - B. For non-residential accessory structures, the maximum building height shall be subject to the same height requirement as a principal structure.
  - C. Non-residential accessory buildings, structures and uses shall be subject to the same setback requirements as a principal building structure, or use. A non-residential accessory building, structure or use shall not occupy more than twenty-five percent (25%) of the total gross floor area of the principal building in which it serves, except that the Technology and Research District shall be limited to fifteen percent (15%).
  - D. Septic systems in all districts are subject only to the setbacks established by the Oakland County Health Division.
  - E. Any structure, yard, pen, or other area where farm animals are kept must be setback fifty (50) feet from any residential building or structure on the same lot and fifty (50) feet from any building or structure on an adjacent lot. Animal owners are liable for damage their animals may inflict on neighboring properties, and are advised to maintain a suitable setback from the property line, considering the behavior of their animals and the nature of the adjoining properties.
  - F. For parcels fronting on M-59, a minimum setback of one hundred (100) feet shall be required.
  - G. For lots fronting major thoroughfares, the front yard setback shall be increased by fifty (50) feet.
  - H. Refer to Section 9.02 for Lake and Village Residential District regulation.
  - I. Refer to Section 9.03 for Multiple-family Residential regulations.
  - J. Refer to Section 9.04 for Manufactured Home Park District regulations.
  - K. Refer to Section 9.05 for Highland Station District regulations.
  - L. Minimum buildable area shall be 2 acres. The buildable area shall be of such configuration to permit construction of a house, septic system and reserve septic system.
  - M. Minimum lot size and buildable area shall be 65,000 square feet. The buildable area shall be of such configuration to permit construction of a house, septic system and reserve septic system.
  - N. Minimum lot size and buildable area shall be 30,000 square feet. The buildable area shall be of such configuration to permit construction of the principal structure, septic system and reserve septic system.
  - O. Refer to Section 9.06 for additional regulations for the Technology and Research District and the Industrial Manufacturing District.
  - P. Corner and through lots have two front yards. The two remaining yards are considered side yards. Corner lots will have a rear yard if the parcel is large enough to be divided.
  - Q. Refer to Section 10.13 for Yard Setback Exceptions relative to temporary Farm Market Structures.
  - R. For accessory buildings and structures in the R-3 Zoning District, the rear yard setback shall be fifty (50) feet.
  - S. Side and rear setbacks shall be doubled along lot lines adjacent to residentially zoned and used properties.
  - T. A minimum twenty-five (25) foot landscape buffer is required along lot lines adjacent to residentially zoned and used properties. No outdoor activities are permitted in this space.
  - U. Maximum lot coverage shall not exceed thirty (30) percent except that the aggregate of greenhouses and self-storage may cover forty (40) percent of the lot, provided no single building exceeds five thousand (5,000) square feet.

( Ord. No. Z-006, § 1, 10-14-2015 ; Ord. No. Z-013 , § 1, 10-9-2019)



# IVERSON LUMBER COMPANY PROPOSED LUMBER STORAGE BUILDING & FUTURE PARKING LOT HIGHLAND, MICHIGAN



**SITE PLAN**  
SCALE: 1" = 40'-0"



### PARKING CALCULATIONS

<b>EX. NORTH BUILDING - 22,880 SF</b>	
• 4,400 SF SHOWROOM / OFFICE (1 SPACE/ 200 SF)	= 22 SPACES
• 2,630 SF SHOWROOM (1 SPACE/ 200 SF)	= 13 SPACES
• 15,850 SF WAREHOUSE (1 SPACE/ 1500 SF)	= 11 SPACES
• 33 EMPLOYEES	= 33 SPACES
<b>EX. SOUTH BUILDING - 23,976 SF</b>	
• 23,976 SF WAREHOUSE (1 SPACE/ 1500 SF)	= 16 SPACES
<b>PROP. NORTH BUILDING - 4,885 SF</b>	
• 11,885 SF WAREHOUSE (1 SPACE/ 1500 SF)	= 8 SPACES
<b>TOTAL REQUIRED</b>	<b>= 103 SPACES</b>

### PARKING SPACE EXISTING/ FUTURE

EXISTING PARKING	= 74 SPACES (LABELED AS # )
FUTURE PARKING	= 29 SPACES (LABELED AS /# )
<b>TOTAL SPACES = 103 SPACES</b>	

### DRAWING INDEX

PROPOSED SITE PLAN	.....	SHEET 1
PROPOSED FLOOR PLAN	.....	SHEET 2
PROPOSED ELEVATIONS	.....	SHEET 3

## Bruns Consulting

2120 WATKINS RD, FT. RECOVERY, OH 45846  
(937) 852-2467

### PROPOSED SITE PLAN NEW BUILDING & FUTURE PARKING LOT IVERSON LUMBER COMPANY

REVISIONS:	DATE

**OWNER/SITE**  
IVERSON LUMBER COMPANY LLC  
1570 N. MILFORD ROAD  
HIGHLAND, MI 48357

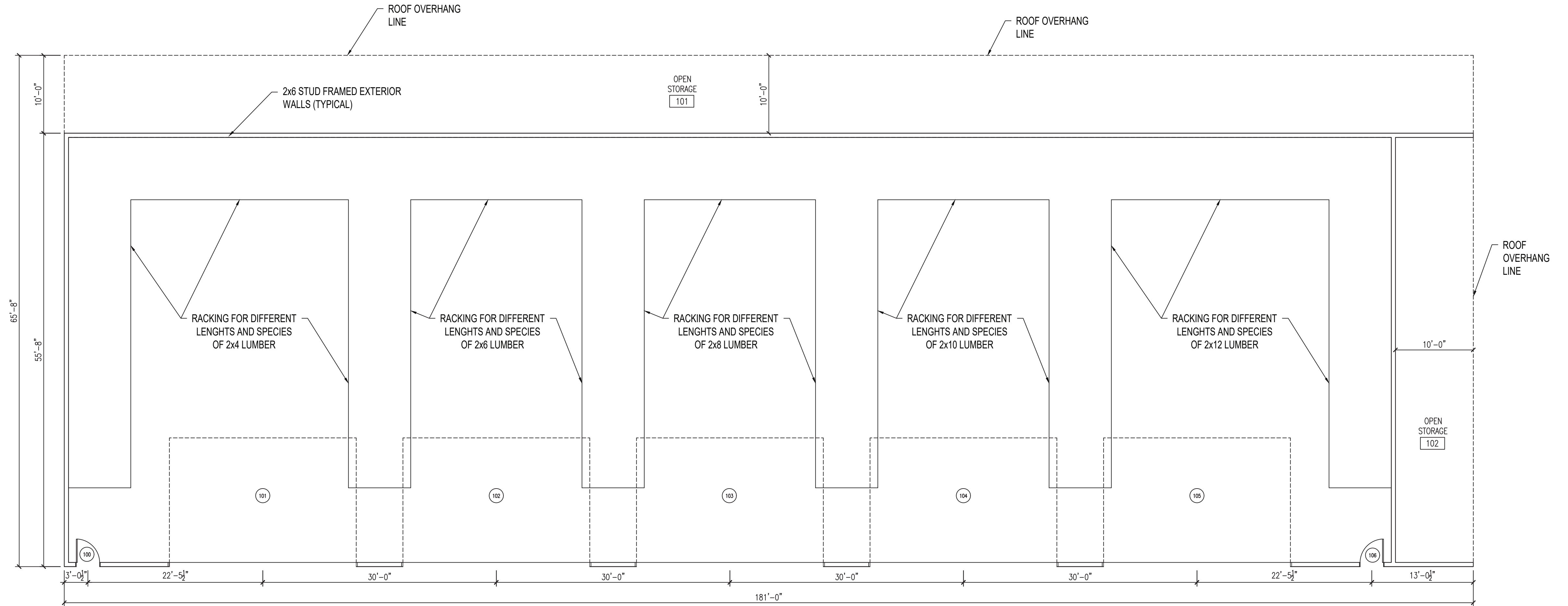
**ENGINEER**  
BRUNS CONSULTING LLC  
2120 WATKINS ROAD  
FORT RECOVERY, OHIO 45846  
ENGINEER: MR. MICHAEL J. BRUNS, P.E.  
PHONE: (419) 852-2467

PROJ. NO:	DWG. NO:	SCALE: AS SHOWN
DRAWN: MDB	CHECKED:	DATE: 01-15-24 SHEET NO: 1 OF 3



**GENERAL NOTES**

- CONCRETE FOOTINGS: CONCRETE SHALL BE PLACED ON ORIGINAL UNDISTURBED EARTH. FOOTINGS SHALL NOT BE PLACED ON FROZEN EARTH, MUD, ORGANIC SILT, OR UNPREPARED FILL. IT IS THE INTENT OF THESE PLANS THAT THE BOTTOM OF FOOTINGS SHALL BE BELOW THE LOCAL FROST LINE AND SHALL BE DISTRIBUTED THE MAXIMUM DESIGN LOAD AS SPECIFIED IN BEARING CAPACITY NOTE BELOW. FOOTINGS SHALL COMPLY WITH APPLICABLE REQUIREMENTS OF ACI 318. CONCRETE ULTIMATE COMPRESSIVE STRENGTH SHALL BE 4000 PSI OR GREATER AT 28 DAYS. PROTECT CONCRETE FROM FREEZING FOR A MINIMUM OF 5 DAYS UPON PLACEMENT.
- PRESUMPTIVE SOIL BEARING CAPACITY IS 1500 PSF.
- CONCRETE: UNLESS OTHERWISE NOTED, ALL EXTERIOR CONCRETE DRIVEWAYS, SIDEWALKS, AND APRONS SHALL BE 4000 PSI CONCRETE AND RECEIVE A LIGHTLY BROOMED, NONSKID CONCRETE FINISH. ALL INTERIOR CONCRETE SLABS SHALL RECEIVE A FLOATED AND STEEL TROWEL FINISH.
- ALL CAST-IN-PLACE CONCRETE WORK INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT BASES, PLUMBING BASES, AND ELECTRICAL EQUIPMENT BASES SHALL BE PERFORMED BY A PROFESSIONAL CONCRETE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL AGGREGATE FILL SHALL BE PLACED ON UNDISTURBED OR WELL COMPACTED EARTH SUBGRADE. ALL FILL UNDER CONCRETE SLABS SHALL LOOSE FILL AGGREGATE IN 6" LIFTS.
- MATERIAL COMPACTION STANDARDS: ALL COMPACTED MATERIALS IN BUILDING PADS, TRENCHES, EMBANKMENTS, ETC. SHALL BE IN COMPLIANCE WITH THE LATEST ADOPTED EDITION OF THE OHIO DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIALS SPECIFICATIONS PER TYPE AND PLACEMENT OF EACH SPECIFIED MATERIAL.
- ALL REINFORCING STEEL SHALL BE MINIMUM GRADE 60.
- ALL WORK AND MATERIALS SHALL BE IN STRICT ACCORDANCE OF THE MOST CURRENT PERMISSIBLE EDITION OF THE LOCAL, STATE, AND FEDERAL CODE AND REGULATIONS.
- THE OWNER SHALL OBTAIN THE BUILDING PERMIT, MECHANICAL, AND ELECTRICAL PERMITS THROUGH THE LOCAL BUILDING DEPARTMENT AUTHORITY. ALL OTHER PERMITS AND LICENSES SHALL BE OBTAINED AND FEES PAID BY EACH RESPECTIVE GENERAL CONTRACTOR, PRIME CONTRACTOR, OR SUBCONTRACTOR REQUIRED FOR THEIR PORTION OF THE WORK.
- EACH RESPECTIVE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL INSPECTION AGENCIES TO MAKE PROPER INSPECTIONS AND SECURE APPROVALS.
- REINFORCING STEEL: METAL REINFORCEMENT SHALL CONFORM TO ACI 318, ACI 531, ANSINBS H74, NCMIA TR75-B, OR B1A REQUIREMENTS FOR ENGINEERED BRICK MASONRY.
- INSULATION: EXPOSED INSULATION SHALL CONFORM TO MICHIGAN BUILDING CODE CLASS I REQUIREMENTS. CONCEALED INSULATION SHALL CONFORM TO OBC CLASS II REQUIREMENTS. CELLULOSE INSULATION SHALL CONFORM TO CPSC STANDARD 16 CFR PARTS 1209 AND 1404. FOAM PLASTICS SHALL HAVE ASTM E84 FLAME SPREAD INDEX OF 75 OR LESS AND SMOKE DEVELOPED INDEX OF 450 OR LESS.
  - A. CONCEALED INSULATION: INSULATING MATERIALS, WHERE CONCEALED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450.
  - B. EXPOSED INSULATION: INSULATING MATERIALS, WHERE EXPOSED AS INSTALLED IN BUILDINGS OF ANY TYPE OF CONSTRUCTION, SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 AND A SMOKE-DEVELOPED INDEX OF 450 OR LESS.
- ALL DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE, OR EFFORT. DRAW BOLTS, HOOKS, ETC. ARE PROHIBITED.
- INTERIOR FINISHES FOR ROOMS AND ENCLOSED SPACES SHALL COMPLY WITH MICHIGAN BUILDING CODE TABLE 803.11.
  - CLASS A: FLAME SPREAD 0-25, SMOKE DEVELOPMENT 0-450
  - CLASS B: FLAME SPREAD 26-75, SMOKE DEVELOPMENT 0-450
  - CLASS C: FLAME SPREAD 76-200, SMOKE DEVELOPMENT 0-450.
- FLOOR FINISHES SHALL COMPLY WITH DOC FF-1 CLASS II.
- FASTENERS: ALL WALL AND ROOF COVERINGS SHALL BE SECURELY FASTENED WITH AL, CU, ZINC, OR ZINC COATED FASTENERS IN ACCORDANCE WITH THE COVERING MANUFACTURER'S RECOMMENDATIONS.
- STORE MATERIALS IN SUCH A MANNER AS NOT TO OVERSTRESS, OVERLOAD, OR OTHERWISE PUT AN UNSAFE LOAD ON ANY STRUCTURE DURING CONSTRUCTION.
- WHERE A DISCREPANCY IS FOUND BETWEEN EXISTING FIELD CONDITIONS AND/OR BETWEEN BUILDING ENGINEERING, STRUCTURAL, OR ELECTRICAL CONTRACT DOCUMENTS, NOTIFY ENGINEER FOR CLARIFICATION PRIOR TO BIDDING, FABRICATION, OR INSTALLATION.
- EACH RESPECTIVE CONTRACTOR SHALL VERIFY ALL EQUIPMENT SIZES AND LOCATIONS WITH THE OWNER PRIOR TO INSTALLATION.
- DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. IF A REQUIRED DIMENSION IS NOT INDICATED, CONTACT THE ENGINEER FOR DETERMINATION.
- IT IS THE RESPONSIBILITY OF EACH CONTRACTOR TO PROVIDE COMPLETE WORKING SYSTEMS FOR ALL ELEMENTS OF THE PROJECT.
- IT IS THE RESPONSIBILITY OF ALL CONTRACTORS TO COORDINATE THEIR WORK WITH ALL OTHER TRADES INVOLVED TO PROVIDE A COMPLETE WORKING SYSTEM.
- ALL CONTRACTORS SHALL PROVIDE NEW, UNDAMAGED MATERIALS UNLESS OTHERWISE SPECIFIED.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL TOP SOIL REMOVAL/REPLACEMENT, EXCAVATION, SUBGRADE COMPACTION, FILL AND AGGREGATE BASE NECESSARY TO PREPARE THE BUILDING PAD.



**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"



DOOR SCHEDULE									
OPENING #	DOORS WxHxT	MTRL	TYPE	GLASS	FRAME	HDWR SET	EXT	INT	REMARKS
100	3068 x 1 3/4"	MTL	FL	HG	WD	1	X	-	
101	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
102	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
103	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
104	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
105	24' x 16'	STL	FL	-	STL	2	X	-	OVERHEAD DOOR
106	3068 x 1 3/4"	MTL	FL	HG	WD	1	X	-	

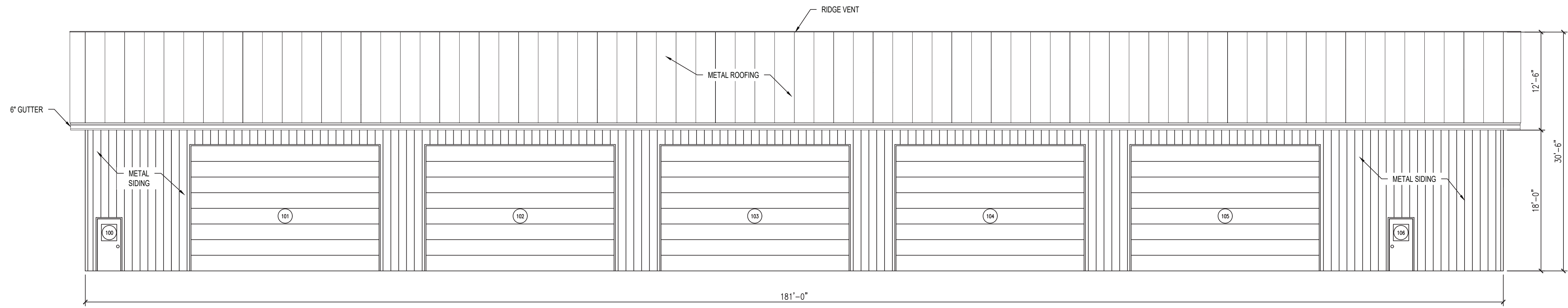
HARDWARE SCHEDULE			
HARDWARE SET #1			
1 1/2 PAIR BALL BEARING HINGES			
1 - GRADE 1 LEVERED HEAVY DUTY CYLINDRICAL LOCKSET			
1 - ALUMINUM THRESHOLD - ADA COMPLIANT			
1 - WEATHER STRIPPING			
1 - DOOR CLOSER			
HARDWARE SET #2			
1 - 3" DOOR TRACKS			
1 - WEATHERSTRIPPING			
1 - DOOR OPERATOR			

**Bruns Consulting**

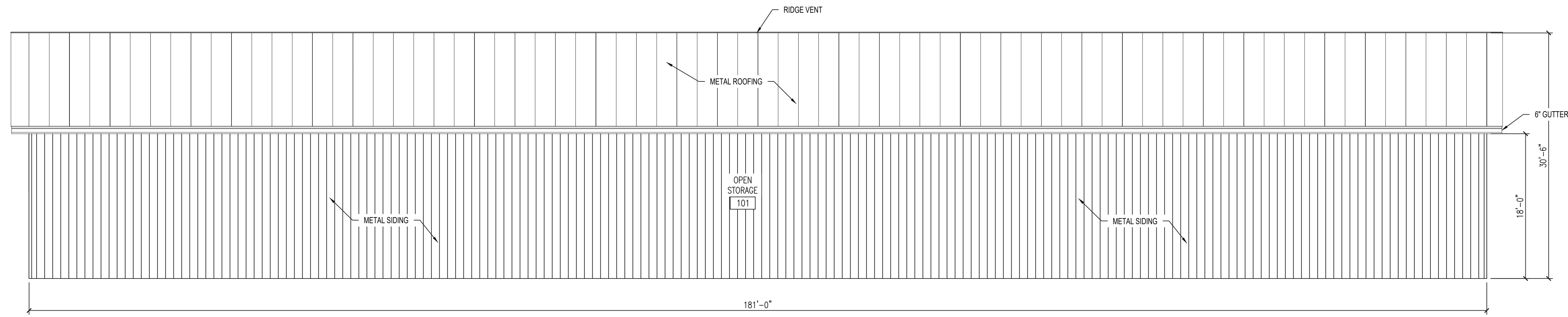
2120 WATKINS RD, FT. RECOVERY, OH 45846  
(937) 852-2467

**PROPOSED FLOOR PLAN  
NEW BUILDING & FUTURE PARKING LOT  
IVERSON LUMBER COMPANY**

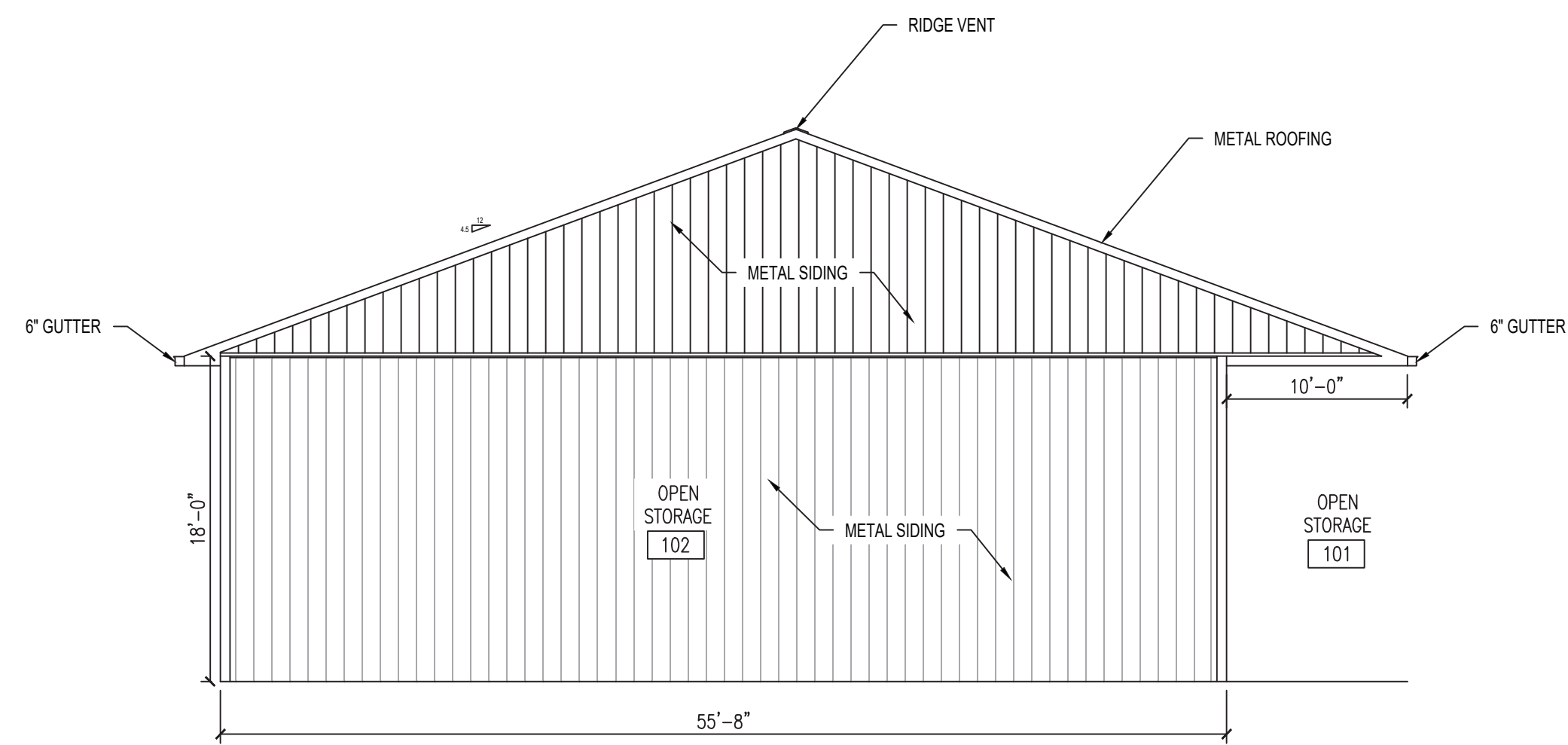
REVISIONS:	DATE



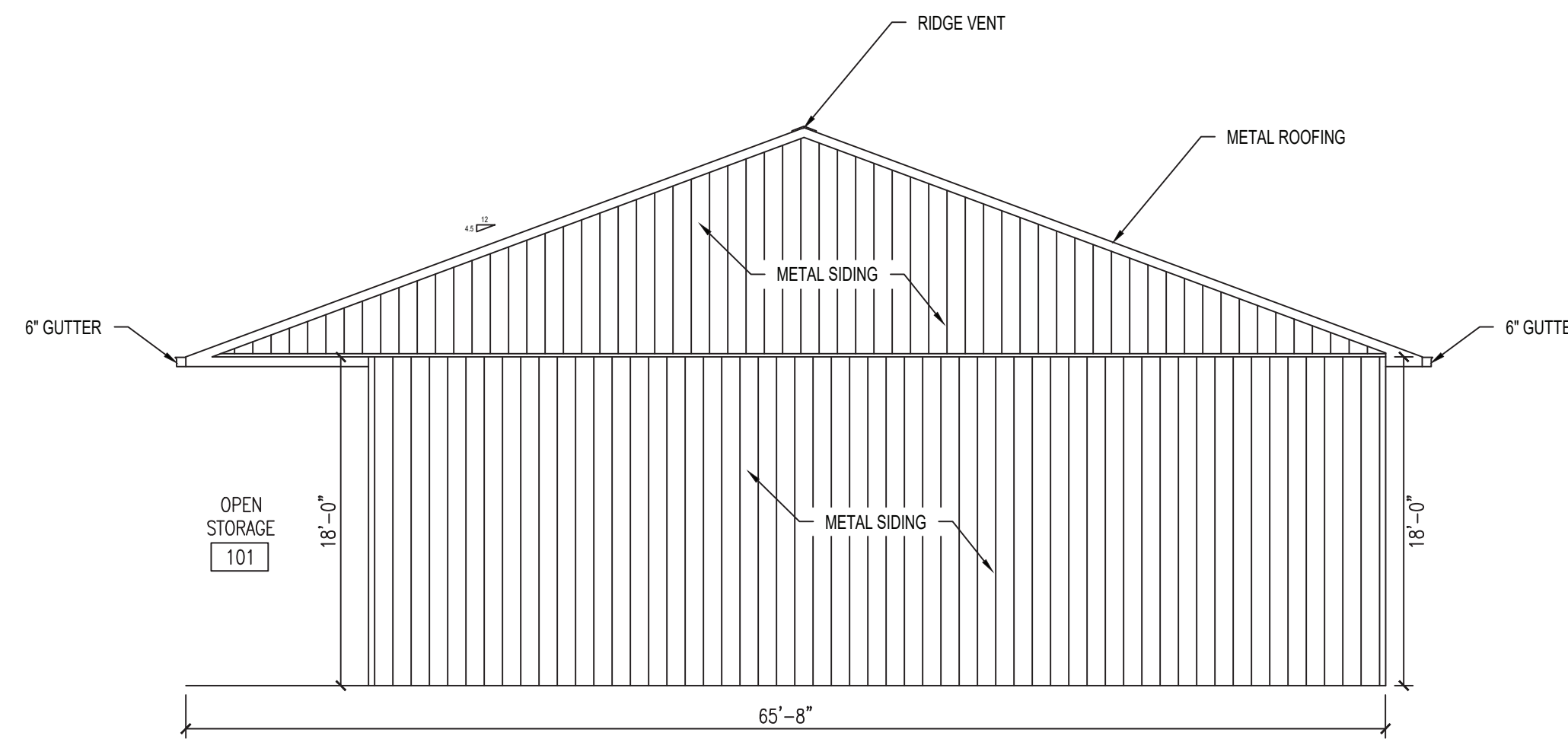
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

**Bruns Consulting**

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(937) 852-2467

**PROPOSED ELEVATIONS  
NEW BUILDING & FUTURE PARKING LOT  
IVERSON LUMBER COMPANY**

REVISIONS:	DATE

PROJ. NO.:	DWG. NO.:	SCALE: AS SHOWN
DRAWN: MDB	CHECKED:	DATE: 01-15-24 SHEET NO. 3 OF 3



1664 N Milford Rd  
Highland MI 48357-3806

View: Front

Structure: Primary

Photo Date: 04/08/2013



Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

### Owner Information

Owner(s) : IVERSON'S 1664 N MILFORD LLC  
 Mailing Address : 1570 MILFORD RD N HIGHLAND MI 48357

### Location Information

Site Address : 1664 N MILFORD RD HIGHLAND MI 48357-3806  
 PIN : 11-15-376-008 Neighborhood Code : IND  
 Municipality : Charter Township of Highland  
 School District : 63220 HURON VALLEY SCHOOLS  
 Use : 201 Commercial - Improved  
 Water Indicator : N Sewer Indicator : N  
 Well Indicator : N Septic Indicator : N

### Property Description

T3N, R7E, SEC 15 PART OF SW 1/4 BEG AT PT DIST N 89-15-00 E 1313.99 FT & N 00-36-50 W 560.33 FT FROM SW SEC COR, TH N 00-36-50 W 424.26 FT, TH S 89-46-25 E 339.41 FT, TH S 02-16-43 E 419.46 FT, TH S 89-23-10 W 351.56 FT TO BEG 3.34 A 5-28-96 FR 005

### Split/Combination Information

Added Status : Added Parcel  
 Added Date : 05/31/1996 Added To : FR 005

### Tax Information

Taxable Value : \$503,520 State Equalized Value : \$661,810  
 Current Assessed Value : \$661,810 Capped Value : \$503,520  
 Effective Date For Taxes : 12/01/2023 Principal Residence Exemption : 0%

#### 2022 Taxes

Summer : \$19,428.42  
 Winter : \$4,590.24

#### 2023 Taxes

Summer : \$20,399.54  
 Winter : \$5,078.00

Village : Village :

### Lot Information

Description : LEVEL Acres : 2.67



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**Building/Section 1**

Building	: 1	Used As	: Industrial - Flex (Mall) Loft Buildings
Year Built	: 1998	Effective Year	: 2001
Class	: C	Quality	: Average
No of Stories	: 1	Height Per Story (feet)	: 20
Avg Square Feet	: 22,880	Elevators	: N
Sprinklers	: Y	Identical Units	: 1
Total Building Square Footage	: 22,880		

**No lump sum improvements Data Available for Building/Section1**

**Building/Section 1 Yard Adjustments**

Description	: Paving (Asphalt)		
Square Feet	: 46,840	Units	: H