



MEMORANDUM

To: Zoning Board of Appeals
From: Kariline P. Littlebear, Zoning Administrator
Date: February 21, 2024
Re: Case 24-01
1161 Gleneagles
11-28-180-003
Applicant: Scott Camp
Owner: Scott Camp

The subject parcel is zoned R1.5 (RPUD) – Residential Planned Unit Development. The parcel size is approximately 0.507 acres. This is a parcel in Prestwick and has an approved building envelope.

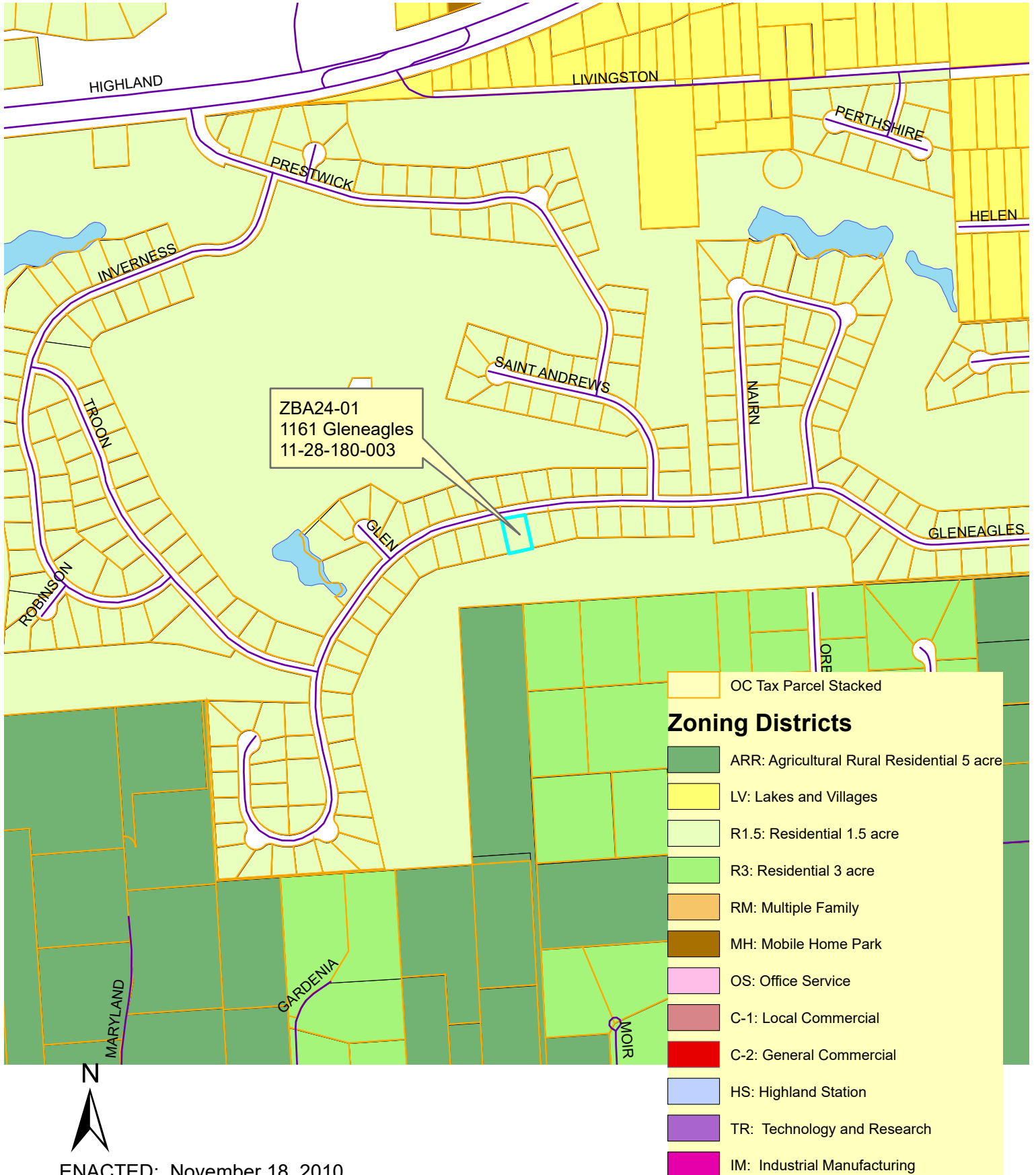
The required setbacks for this parcel are as follows:

Front yard: 40 feet
Rear yard for a structure: 40 ft
Rear yard for an uncovered deck/patio: 30 ft
Side yards: 15 ft

This request is for a 6-foot 6-inch variance from the required 40-foot rear yard setback to 33-foot 6-inches provided for a 35-foot 10-inch by 19-foot 3-inch three-season room on top of an unpermitted uncovered patio at grade, a 7-foot 3-inch variance from the required 30-foot rear yard setback to 22-feet 9-inches provided for said approx. 830 sq ft unpermitted uncovered patio at grade, and a 7-foot 8-inch variance from the required 40-foot rear yard setback to 32-foot 4-inches provided for an unpermitted hot tub. This request is for a variance from Section 7.02.C.5. of the Zoning Ordinance.

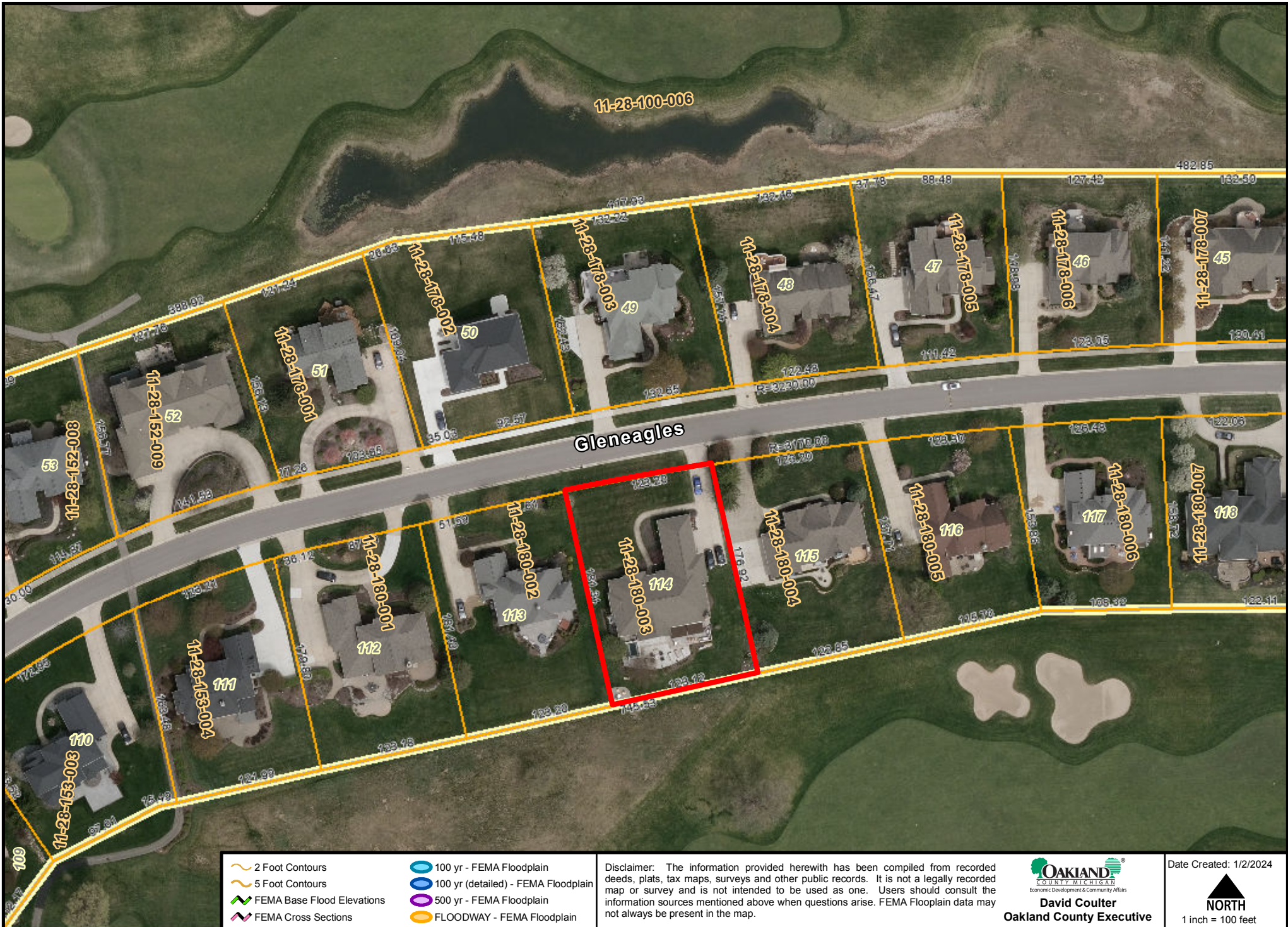
The applicant has provided a survey, scaled site plan, and elevations. Staff has supplied assessing records, a zoning map, an aerial approximation of the property from 2023 and 2020, minutes from the October 17, 1996 Planning Commission meeting, the report referenced in that meeting, and Section 7.02. of the Zoning Ordinance.

CHARTER TOWNSHIP OF HIGHLAND ZONING MAP

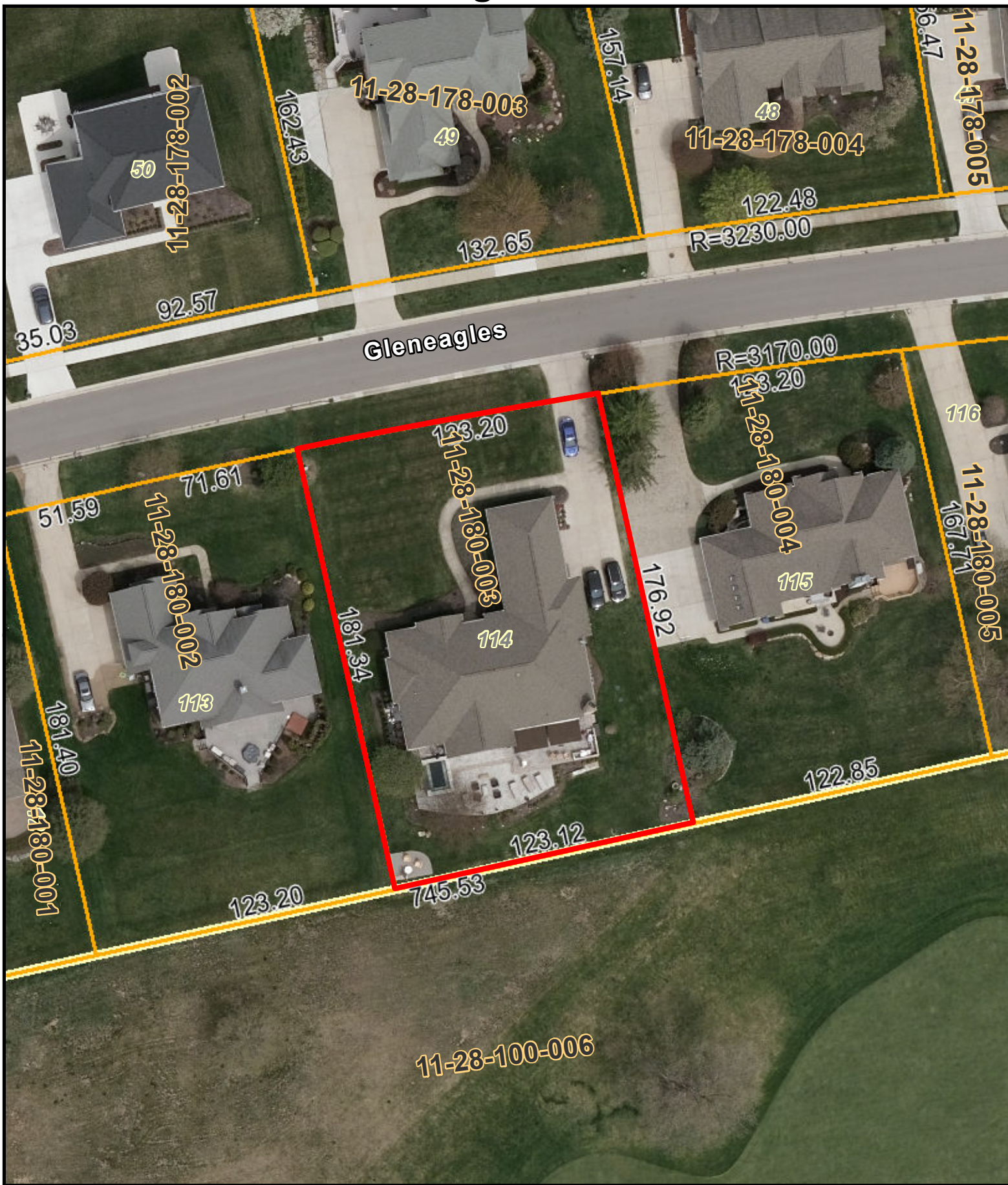










ENACTED: November 18, 2010

1161 Gleneagles




1161 Gleneagles 2023 aerial



 2 Foot Contours	 100 yr - FEMA Floodplain
 5 Foot Contours	 100 yr (detailed) - FEMA Floodplain
 FEMA Base Flood Elevations	 500 yr - FEMA Floodplain
 FEMA Cross Sections	 FLOODWAY - FEMA Floodplain









Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.


David Coulter
 Oakland County Executive

Date Created: 1/17/2024

 NORTH
 1 inch = 50 feet

1161 Gleneagles 2020 aerial



-  2 Foot Contours
-  5 Foot Contours
-  FEMA Base Flood Elevations
-  FEMA Cross Sections
-  100 yr - FEMA Floodplain
-  100 yr (detailed) - FEMA Floodplain
-  500 yr - FEMA Floodplain
-  FLOODWAY - FEMA Floodplain

Disclaimer: The information provided herewith has been compiled from recorded deeds, plats, tax maps, surveys and other public records. It is not a legally recorded map or survey and is not intended to be used as one. Users should consult the information sources mentioned above when questions arise. FEMA Floodplain data may not always be present on the map.



David Coulter
Oakland County Executive

Date Created: 1/17/2024



Case # 24-01

Hearing Date 2/7/24

CHARTER TOWNSHIP OF HIGHLAND ZONING BOARD OF APPEALS
APPLICATION FOR APPEAL

APPLICANT

NAME: SCOTT CAMP

ADDRESS: 1141 GLENGALE S.
HIGHLAND, MI 48357

PHONE: 810-560-1500

EMAIL: scamp@aquaticsources.com

OWNER

NAME: SAM Z.

ADDRESS: _____

PHONE: _____

EMAIL: _____

PROPERTY ADDRESS: 1141 GLENGALE S. ZONING: PRD R1.5

PROPERTY TAX ID NO: 11-28-180-003

ORDINANCE SECTIONS BEING APPEALED: (Sec. 7.02.C.5) Residential Planned Unit Development Approved Building Envelope

VARIANCES REQUESTED: 6ft 6inch variance from 40' to 33'6" for a 3 season room, 7ft 8inch variance from 40ft to 32' 4" for a hot tub, and a 12ft 3inch variance from 35 ft to 22' 9" for an uncovered patio at grade

DESCRIBE THE NATURE OF YOUR PRACTICAL DIFFICULTY: _____
HAT, COOLING, SKIN ISSUES FROM SUN.
SUN BLASTING IN DOOR WALLS + AWNINGS DON'T STAY OUT

I certify that all required information is shown on the attached plan and included on this form. I acknowledge that by signing this application, I am granting the right of the Zoning Board of appeals members, inspectors and administrators to conduct a site inspection of the subject property. All statements are true to the best of my knowledge.

SIGNATURE OF OWNER: [Signature] DATE: 12/28/2023

SIGNATURE OF APPLICANT: [Signature] DATE: 12/28/2023

Signature of applicant must be notarized.

Subscribed and sworn to before me this
28 day of December, 2023
Jennigh Bosh Notary Public
My Commission expires 06/16/2025

JENNIFER BOSH
NOTARY PUBLIC - STATE OF MICHIGAN
COUNTY OF OAKLAND
My Commission Expires June 16, 2025
Acting in the County of Oakland

APPLICATION FEE: 275.00

Receipt# _____ Date Paid 12/28/23

Received by [Signature]

CHARTER TOWNSHIP OF HIGHLAND
ZONING BOARD OF APPEALS
WORKSHEET

The worksheet is designed to help you understand the appeal process and to help you submit a complete application for review by the Zoning Board of Appeals. If you have any questions after reading this worksheet you may contact the Planning and Zoning Department for assistance.

HAVE YOU MET ALL OF THE FOLLOWING CRITERIA?

- 1) Do the characteristics of the property include exceptional narrowness, shallowness, smallness, irregular shape, topography, vegetation or other similar characteristics? If so, please describe here.

Just a square lot.

- 2) Can the project be redesigned to meet the zoning requirements without the need for a variance?

Not that we can see

- 3) Is the reason for a variance request of a personal nature? (for example: financial impact, physical and/or mental characteristics of the household members, inconvenience, etc.)

BOTH WIFE & I HAVE HAD SKIN
CANCER REMOVED & WOULD LIKE THE
ENERGY BENEFITS FROM THE SHADE

4) Has the difficulty been created by the current or previous owner?

They cut all the shade
trees down.

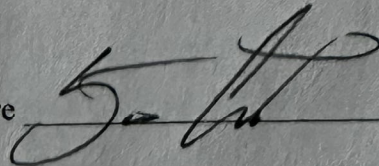
5) Will the proposed variance be harmful to or alter the essential character of the area in which the property is located?

No

6) Will the proposed variance be the minimum necessary?

yes.

Signature



Sec. 7.02. Residential Open Space Planned Unit Developments (RPUD).

- A. *Intent.* The Residential Open Space Planned Unit Development (RPUD) option is intended to provide an alternative to traditional residential subdivision design in a manner that encourages the preservation of rural character, large areas of open space and greenways, protects valuable natural resources, enhances ecological functions, and requires excellence in site design. These regulations are not intended as a device for subverting the zoning regulations and standards of the Township, nor the planning concepts upon which the ordinance is based. Specifically, the RPUD option is intended to achieve the following purposes:
1. Permit flexibility in design and use that will result in a higher quality of development and a better overall project than would be accomplished under conventional zoning, and which can be accommodated without sacrificing established community values.
 2. Foster responsible stewardship of the natural environment resulting in the long term protection and preservation of natural resources and natural features.
 3. Encourage retention of the rural atmosphere including the preservation of historic and cultural resources.
 4. Incorporate design elements that unify the site through public amenities, landscaping, lighting, coordinated signage, and pedestrian walks and pathways.
 5. Encourage the use of naturalized landscape design and architectural design that is compatible with the rural surrounding.
- B. *Eligibility.*
1. RPUD designation of a parcel(s) is an amendment of the official zoning map, subject to the review procedures and standards outlined in Article 19, Changes and Amendments, as well as those of this section. To be eligible for RPUD approval, the applicant must demonstrate that the following criteria will be met:
 - a. The intent of Section 7.02.A, Intent.
 - b. One (1) or more of the following benefits will be provided:
 - i. A recognizable and material benefit to the ultimate users of the project and to the community, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the planned unit development regulations; or
 - ii. Long-term protection and preservation of natural resources and natural features of a significant quantity and/or quality, where such benefit would otherwise be unfeasible or unlikely to be achieved without application of the planned unit development regulations.
 - c. The proposed type and density of use shall not result in an unreasonable increase in the need for or burden upon public services, facilities, roads, and utilities.
 - d. The proposed development shall be consistent with the public health, safety, and welfare of the Township.
 - e. The proposed development shall minimize any negative environmental impact on the subject site or surrounding land.
 - f. The proposed development shall minimize any negative economic impact upon surrounding properties.
 - g. The proposed development shall be consistent with the Highland Township Master Plan.

-
- h. All property within the RPUD shall be under the ownership or control of a single entity with responsibility and authority for completing the project in conformity with the approved plan. This provision shall not prohibit a transfer of property ownership or control provided that the Township is notified and that any successors shall be bound by conditions of approval.

C. *Design standards.*

1. *Permitted uses within an RPUD.* Any principal or accessory use allowed by right within the Residential districts as listed in Article 4, District Regulations, Section 4.05, Agricultural and Rural Residential District and Section 4.06, Residential Districts, may be permitted in an RPUD.
2. *Density.* An RPUD project shall not be developed more dense than one (1) dwelling unit per five (5) acres for parcels designated Agricultural and Rural Residential on the Master Plan or one dwelling unit per one and a half (1.5) acres for parcels designated Medium and Small Lot Residential or Open Space Residential in the Master Plan except as may be modified by bonus density granted by the Planning Commission under this Section. The Planning Commission will determine the maximum number of dwelling units for each RPUD based on a review of a sketch parallel plan submitted by the applicant during the preliminary site plan review as described in section 7.02.E.3, Procedures for Review and Approval.
3. *Density bonus for exemplary projects.* The Planning Commission and Township Board may allow a variable density credit pursuant to this section. In order to qualify for such increase in density, the applicant shall demonstrate to the satisfaction of the reviewing body that the proposed project exhibits design excellence and exceeds the minimum standards for RPUD eligibility. The bonus density may be awarded for incorporation of the following design elements or planning principles, up to a maximum of thirty (30) percent, in combination as follows:
 - a. Up to ten (10%) percent: For providing dedicated open space configured to preserve and to protect high quality natural features in a non-fragmented fashion and to provide connectivity both within and beyond the development boundaries. Open space shall not consist of long, narrow strips, unless used to conserve a linear natural feature. The density bonus shall be generally awarded on a scale ranging from three (3%) percent for developments dedicating thirty (30%) percent of the gross site area as open space, up to ten (10%) percent for sites dedicating seventy (70%) percent of the gross site area as open space. No bonus density shall be awarded under this provision for sites dedicating less than thirty (30%) percent open space, or for open space that does not satisfy the standards of Section 7.02.C.3, Density Bonus for Exemplary Projects. The reviewing body may adjust the scale (not to exceed ten (10%) percent) based on the percentage of units which have direct access to open space.
 - b. Up to five (5%) percent: For providing a landscaped perimeter screen in excess of one hundred (100) feet in depth.
 - c. Up to ten (10%) percent: For providing central water and sanitary sewer service.
 - d. Up to ten (10%) percent: For other design strategies which provide a clear benefit to the residents of the RPUD, the surrounding area and the Township as a whole. The percentage of bonus density shall be determined at the discretion of the Planning Commission based on the expected benefit to the community and the preservation of any unique or significant features of the proposed site.

When the end density calculation results in a whole number of units plus a fractional portion of a unit, the fractional portion shall be rounded up to an additional whole number for decimal equivalents equal to 0.50 or larger, and down to zero for decimal equivalents less than 0.50.

4. *Dimensional requirements.* Once the density has been established, the allowable number of dwelling units may be clustered with lot areas and widths reduced below the minimum requirement of the pre-

RPUD zoning district, provided that the open space within the development equals or exceeds the total area of lot area reduction.

5. *Setbacks within the RPUD project.* The setback requirements of the pre-RPUD zoning district shall be used as guidelines for the RPUD. To encourage flexibility and creativity consistent with the intent of the RPUD regulations, the Township may permit specific departures from the requirements of the Zoning Ordinance. A table shall be provided on the site plan that lists all deviations and regulatory modifications. Deviations shall only be approved through a finding by the Planning Commission that the deviation will result in a higher quality of development that would not be possible using conventional zoning standards. Only those deviations consistent with the intent of this Article shall be considered.
6. *Open space.*
 - a. When completed, the development shall have at least twenty percent (20%) of the gross site area in the development devoted to open space, which shall remain in its natural state and/or be restricted for use for active and/or passive outdoor recreational purposes harmonious with peaceful, single-family residential uses in and surrounding the development per the requirements of Section 7.04, Open Space Preservation Provisions.
 - b. Open space shall be provided along the exterior public roads with a depth of at least one hundred (100) feet, either landscaped or preserved in a natural wooded condition.
 - c. There shall be a perimeter setback and buffering, of up to one hundred (100) feet, taking into consideration the use or uses in and adjacent to the development. The setback distance shall be recommended by the Planning Commission, and need not be uniform at all points on the perimeter of the development.
 - d. The Planning Commission may recommend a reduction of the perimeter setback and buffering in cases where the density of the proposed use is compatible with adjacent uses and/or natural features such as woodlands and topographical features provide adequate buffering to protect adjacent uses.
 - e. If natural features, such as woodlands and topographical features, do not provide adequate buffering from adjacent property, the perimeter setback shall include noise reduction and visual screening mechanisms such as landscaping, berms and/or decorative walls.
 - f. The amount of open space, including the area and percentage of the site, shall be specified on the site plan.
 - g. In addition to preservation of the most important natural features, additional open space shall be located and designed to achieve the following: provide areas for active recreation; provide areas for informal recreation and pathways convenient to the majority of the residents within the development; connect into adjacent open space, parks, bike paths or pedestrian paths; provide natural greenbelts along roadways to preserve the rural character as viewed from the roads; and to preserve a buffer from adjacent land uses where appropriate.
- D. *Procedure for review and approval.* Prior to construction of an RPUD project, the applicant shall obtain the required reviews and approvals as described below:
 1. *Pre-application meeting.* Prior to the submission of an application for planned unit development approval, the applicant is required to meet with the Zoning Administrator to review required information and procedures as required in Section 5.03B, Pre-Application Meeting.
 2. *Application submittal.* The applicant shall apply for sketch plan review following the procedures and standards outlined in Section 5.03, Site Plan and Sketch Plan Review Procedures and Requirements. The following supplemental application materials are also required:

-
- a. A parallel sketch plan that meets the requirements set forth in Article 5, Site Plan Review, Procedures and Standards. A parallel plan shall represent a design of the parcel showing the number of lots that could be developed on the site in accordance with the underlying zoning district.
 - b. A Natural Features Inventory and Stewardship Plan as required in Section 15.02, Natural Features and Inventory and Stewardship Plans.
 - c. An area analysis which shows the location of the project in relation to existing and proposed uses in the surrounding area.
 - d. A project narrative report shall also be submitted by the applicant providing a description of the project and proposed uses, the market concept and feasibility of the project, the manner in which the criteria set forth in Sections 7.02.B, Eligibility, have been met, and the known deviations from current Ordinance requirements and standards.
3. *Sketch plan review procedure.*
 - a. *Staff/consultant review.* The Zoning Administrator shall submit the application, sketch plan and supporting materials to the appropriate staff, consultants, committees or agencies for review and comment.
 - b. *Planning Commission action.* The parallel sketch plan and all supporting information shall be scheduled for a public hearing and review before the Planning Commission. Notice for the public hearing shall meet the requirements for a zoning amendment, as set forth in Section 3.10, Public Hearing Notice. The Planning Commission shall review the sketch plan and all supporting information and make a recommendation to the Township Board. The Planning Commission shall determine the appropriate number of units, and consider whether the project maintains compatibility with surrounding uses, meets the intent of Section 7.02.A, Intent, and satisfies the eligibility criteria of section 7.02.B, Eligibility.
 - c. *Township Board action.* Upon receiving the recommendation of the Planning Commission, the Township Board shall review the sketch plan and all supporting information and take one of the following actions:
 - i. *Approval.* Upon finding that the sketch plan meets the criteria set forth in Section 7.02.B, Eligibility, the Township Board shall grant preliminary approval. Upon approval, the applicant may proceed to preparation of the site plan, but shall not bind the Township Board to approval of the site plan.
 - ii. *Tabling.* Upon finding that the sketch plan does not meet the criteria set forth in Sections 7.02.B, Eligibility, but could meet such criteria if revised, the Township Board may table action until a revised sketch plan is resubmitted. The Township Board may refer a tabled sketch plan back to the Planning Commission for additional review.
 - iii. *Denial.* Upon finding that the sketch plan does not meet the criteria set forth in Sections 7.02.A, Intent and 7.02.B, Eligibility, the Township Board shall deny preliminary approval.
 4. *Site plan review.* Within six (6) months following receipt of Township Board approval of the sketch plan, the applicant shall submit a site plan and supporting materials conforming to this Section. If a site plan is not submitted by the applicant for final approval within six (6) months following the date of the Township Board sketch plan approval, the sketch plan approval becomes null and void. An extension of the sketch plan approval beyond the specified period may be granted by the Township Board if such request is made to the Township prior to the six (6) month expiration period.
 - a. *Information required.* A site plan and application for approval of a RPUD shall contain the following information:

-
- i. A site plan meeting all requirements of Article 5, Site Plan Review Procedures and Standards, Site Plan and Table 5.2, Sketch Plan Submittal Requirements.
 - ii. A separately delineated specification of all deviations from this ordinance which would otherwise be applicable to the development proposed in the absence of this planned unit development article.
 - iii. A specific schedule of the intended development including phasing or timing.
 - iv. A specific schedule of the general improvements to constitute a part of the development, including, without limitation, lighting, signage, the mechanisms designed to reduce noise, utilities, and visual screening features.
 - v. A specification of the exterior building materials for the structures proposed in the project.
 - vi. A draft of the proposed master Deed and Bylaws, if applicable.
 - vii. Signatures of all parties having an interest in the property.
- b. *Staff/consultant review.* The Township shall submit the site plan, and supportive materials to appropriate staff, consultants, committees or agencies for review and comment.
 - c. *Planning Commission review.* The site plan shall constitute an application to amend this Ordinance, and shall be noticed for public hearing as a zoning amendment before the Planning Commission. The Planning Commission shall, to the extent it deems appropriate, submit detailed recommendations relative to the RPUD project including, without limitation, recommendations with respect to matters on which the Township Board must exercise discretion.
 - d. *Township Board review.* After receipt of the Planning Commission's recommendation, the application shall be noticed for public hearing as a zoning amendment before the Township Board. The Township Board shall review and deliberate upon the requested RPUD rezoning and terms of the proposed development agreement. The Township Board may approve, deny or approve with a list of conditions made part of the approval. The Township Board may require a resubmittal of the application reflecting the conditions for approval by the Planning Commission, Planning Director or Township consultants if appropriate.
- E. *Effect of approval.* When approved, the RPUD amendment, with all conditions imposed, if any, shall constitute the land use authorization for the property, and all improvements and uses shall be in conformity with such amendment. Notice of adoption of the final RPUD plan and development agreement shall be recorded at the Oakland County Register of Deeds. The official zoning map of Highland Township shall be revised to reflect the approval.
- F. *Resolution of ambiguities and ordinance deviations.* The Township Board, based upon the recommendation of the Planning Commission, shall resolve all ambiguities as to applicable regulations using the Zoning Ordinance, the Highland Township Master Plan, and other Township standards or policies as a guide.

Notwithstanding the immediately preceding standards, deviations with respect to such regulation may be granted as part of the overall approval of the RPUD, provided there are features or elements demonstrated by the applicant and deemed adequate by the Township Board upon the recommendation of the Planning Commission designed into the project plan for the purpose of achieving the objectives of this Article.

G. *Conditions.*

1. Reasonable conditions may be required with the approval of an RPUD, to the extent authorized by law, for the purpose of ensuring that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased service and facility loads caused by the land use or activity, protecting the natural environment and conserving natural features, ensuring compatibility

with adjacent uses of land, and promoting the use of land in a socially and economically desirable manner.

2. Conditions imposed shall be designed to protect natural resources and the public health, safety, and welfare of individuals in the project and those immediately adjacent, and the community as a whole; reasonably related to the purposes affected by the planned unit development; and, necessary to meet the intent and purpose of this Ordinance, and be related to the objective of ensuring compliance with the standards of this Ordinance. All conditions imposed shall be made a part of the record of the approved planned unit development.

H. *Phasing and commencement of construction.*

1. *Phasing.* Where a project is proposed for construction in phases, the planning and design shall be such that, upon completion, each phase shall be capable of standing on its own in terms of the presence of services, facilities, and open space, and shall contain the necessary components to ensure protection of natural resources and the health, safety, and welfare of the users of the planned unit development and the residents of the surrounding area.
2. *Construction progress.* Substantial construction shall be completed within two (2) years following final approval of a residential open space planned unit development per Section 3.10, Expiration of Land Use Approvals, and shall proceed towards completion in accordance with an approved development agreement per Section 3.12, Development Agreements.

I. *Amendment and revision.* A developer may request a change in an approved sketch plan, or an approved site plan. A change in an approved sketch plan or change in an approved site plan which results in a major change, as defined in this section, shall require an amendment to the sketch plan and site plan. All amendments shall follow the procedures and conditions herein required for original submittal and review. A change which results in a minor change as defined in this section shall require a revision to the approved site plan and approval by the Township Board following review by the Planning Commission.

1. The following changes shall be considered major:
 - a. Change in the concept of the development.
 - b. Change in use or character of the development.
 - c. Change in the type of dwelling unit.
 - d. Change in the number of dwelling units (density).
 - e. Reserved.
 - f. Change in lot coverage or floor area ratio of the entire PUD.
 - g. Change in the character or function of any street.
 - h. Change in land area set aside for common space or the relocation of such areas.
 - i. Change in building height.
2. The following changes shall be considered minor:
 - a. Change in residential floor space.
 - b. Minor variations in layout which do not constitute major changes.
3. The Planning Commission shall have the authority to determine whether a requested change is major or minor, in accordance with this Section. The burden shall be on the applicant to show good cause as to any requested change.

Prestwick Setback For decks
backing openspace APPROVED

CHARTER TOWNSHIP OF HIGHLAND PLANNING COMMISSION
Minutes of October 17, 1996
Page 6 of 7

Pat Woods, 1583 Highland Park Drive, asked for clarification of the 10% of yard in the ordinance and suggested it be explained in the ordinance.

Bob Lingham, 499 Dunleavy, felt the proposed ordinance was good but setting a number of four would cause more trouble than it was worth. He also felt the nuisance clause was too subjective.

Gary Lauer, 4117 Strathcona, asked if the limit of four covered all yards. He was concerned because he has recreation vehicles stored behind a fence. Mr. Donnellon discussed this with Mr. Lauer.

An unidentified member of the audience suggested that this proposed ordinance be put on the ballot for a vote.

With no further public comment, Chairman Beach thanked the audience for their comments and closed the public hearing portion of the meeting.

Mr. Gorman moved to table this agenda item until the meeting of November 7, 1996. Mr. Beal supported the motion and it carried with a unanimous roll call vote.

WORK SESSION:

AGENDA ITEM #4. Sidwell #: 11-28-100-004 (all parcels in development)
Zoned: R-1B (PRD)
Request: Use Requiring Special Approval for an amendment to the original approval
Applicant: Prestwick Village Assoc. Ltd. Prt.

Mr. Beal gave the report for the Residential Subcommittee: This request by Prestwick Village Associates is to change the rear setback for decks from 40' to 30'. They have realized as the homes are being built that the additional ten feet improves the aesthetics of the property. The subcommittee was in agreement with Mr. Donnellon's report.

Mr. Donnellon reviewed his report dated 10/14/96. He did not object to this change.

This proposed change was discussed by the Commissioners. Mr. Gaddey stated that all plans would still have to be approved by their association. Commissioners were concerned that the decks not extend more than ten feet from the structure to which they are attached and that they not become enclosed.

CHARTER TOWNSHIP OF HIGHLAND PLANNING COMMISSION
Minutes of October 17, 1996
Page 7 of 7

After further discussion, Mr. Brian moved to approve the requested change to the Use Requiring Special Approval Site Plan to allow the expansion of the buildable area to the rear by ten feet to accommodate a deck. Mr. Gorman supported the motion. After discussion and amendment of the motion to read as above, the motion carried with the following roll call vote: Brian - yes Lahring - yes, Irish - yes, Barancek - no, Beach - no, Gorman - no, Beal - yes, Hamlin - yes, Smith - no.

Mr. Beal moved to reimburse the applicant for the unused portion of the fee since a public hearing was not scheduled. Mr. Brian supported the motion and it carried with a unanimous roll call vote.

AGENDA ITEM #5. Discussion: Governmental Buildings/Uses
Commercial Subcommittee to report
Tabled: October 17, 1996

Mr. Donnellon reviewed his report dated October 14, 1996 regarding the zoning analysis for locating governmental buildings and uses.

Commissioners discussed where to locate governmental buildings and uses and how to handle them.

AGENDA ITEM #6. Minutes: October 3, 1996

The review of the October 3, 1996 minutes was postponed until the meeting of November 7, 1996.

INFORMATION:

Items on the information sheet were reviewed.

Mr. Barancek moved to approve for payment Robert K. Swarthout, Inc. invoice #96-80 in the amount of \$1,214.76. Mr. Beal supported the motion and it carried with a unanimous voice vote.

The agenda for the meeting of November 7, 1996 was reviewed.

At 10:17 p.m. Mr. Brian moved to adjourn. Mrs. Lahring supported the motion and it carried with a unanimous voice vote.

Respectfully submitted,

A. Roscoe Smith,
Secretary

ARS:mim

2151 Livernois, Suite 320
Troy, Michigan 48083
Telephone (313) 244-2993
FAX (313) 244-2992

October 14, 1996

Planning Commissioners
Highland Township Planning Commission
P O Box 249
Highland, MI 48357

RECEIVED

OCT 15 1996

Dear Commissioners:

HIGHLAND TWP.
Planning Commission

Re: Modification of a PRD
Prestwick Village Association
Sidwell #11-28-100-004

Prestwick Village is well on its way to becoming everything the developer had hoped for when going through the planning approval process. The course is open, many homes are already built, the roads are almost completed and the area is looking very good.

The developer is now going through some growing pains and is requesting an adjustment to the PRD Site Plan. It seems that the houses along the individual holes of the golf course are quite large and/or are being set to the back part of the buildable area of the lot to take advantage of the view of the open space. As a result, the placement of a deck, which is generally not the first thing you think about when designing a new home, is being compromised in order to fit into the buildable area. On the one hand, this predicament should not be of any concern to the Township since the lots are quite generous in size. On the other hand, the developer is only looking for a 10-foot adjustment in rear yard setback for only the deck and not any portion of the home.

The approval of such a modification to a PRD is minor. I see it as a judgment call. If it is not approved, the project will not suffer some irreparable harm. If it is approved, it is a change of convenience. It should be clearly defined, it should be limited to the edge of the deck, it should only be for lots that are adjacent to the edge of a portion of the golf course and not just be a universal adjustment.


Planning Commissioners
Page 2
October 14, 1996

Because the change is broad based but minor, it is good that it has come before the Planning Commission for consideration. It is a little bit more than should be approved administratively. Because of the nature of the request, however, I do not see the need to have a public hearing. The Planning Commission can authorize the change and the developer can make the revisions to the Master Deed and submit the revised Master Deed to the Township for placement in the file.

This report is being sent to you for your review and consideration. If you have any questions, please feel free to call me.

Cordially yours,

ROBERT K. SWARTHOUT, INCORPORATED

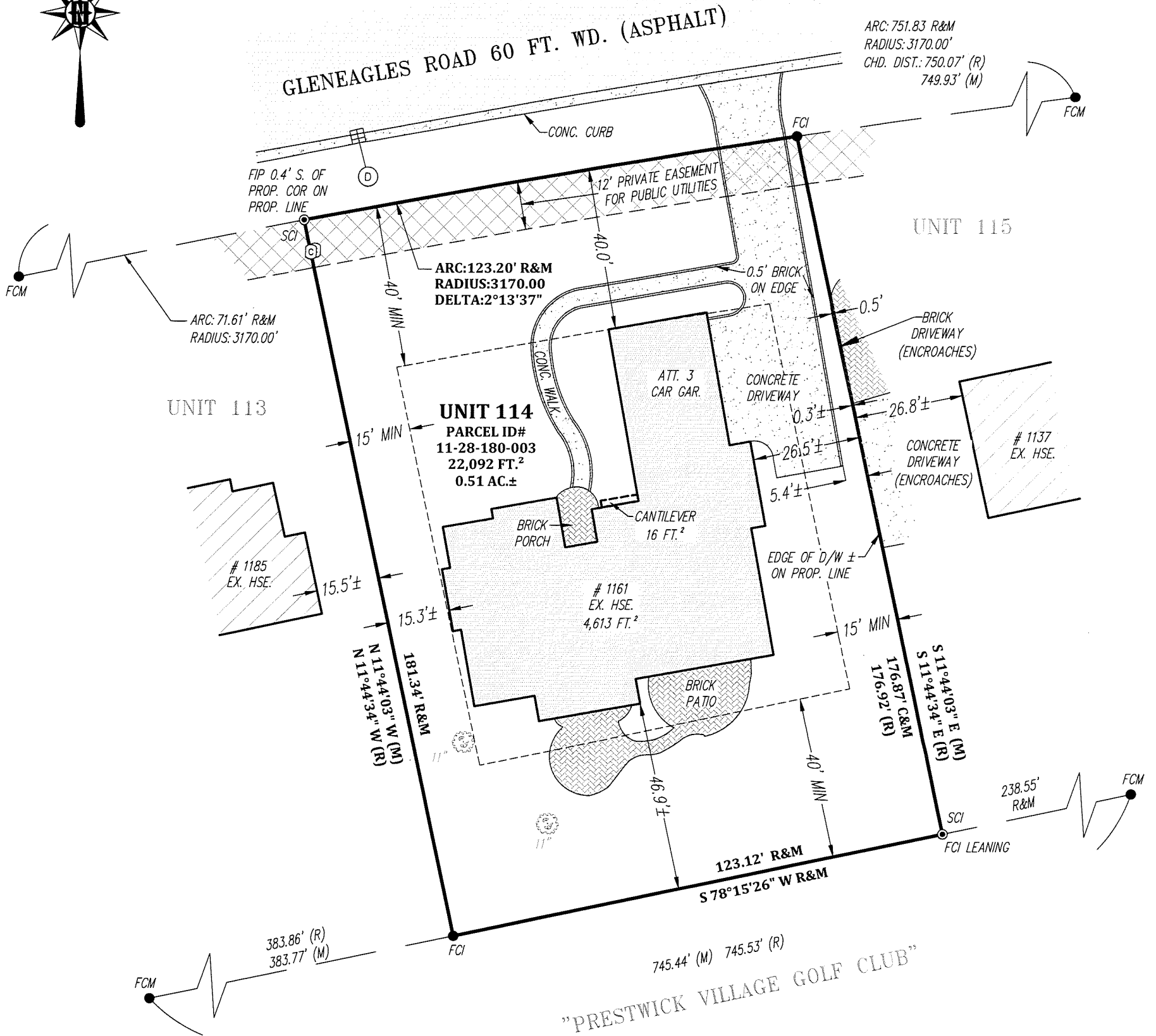


David Donnellon, AIA, AICP

jd

cc: Mrs. Lisa Burkhart
Mr. Michael Powell
Mr. Roy Gaddy

CERTIFICATE OF SURVEY



LEGAL DESCRIPTION

PARCEL ID# 11-28-180-003
COMMONLY KNOWN AS: 1161 GLENEAGLES

UNIT 114, OF "PRESTWICK VILLAGE", OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 875, PART OF THE NORTHWEST 1/4 OF SECTION 27, THE NORTHEAST 1/4, THE NORTHWEST 1/4, AND THE SOUTHWEST 1/4 OF SECTION 28 AND PART OF THE NORTHEAST 1/4 AND SOUTHWEST 1/4 OF SECTION 29, ALL IN TOWN 3 NORTH, RANGE 7 EAST, HIGHLAND TOWNSHIP, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 14881 OF PLATS ON PAGE 253 OF OAKLAND COUNTY RECORDS. CONTAINING 0.51 ACRES OF LAND MORE OR LESS. SUBJECT TO ANY AND ALL EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

ZONING REQUIREMENTS

R-1.5 RESIDENTIAL 1.5 ACRE

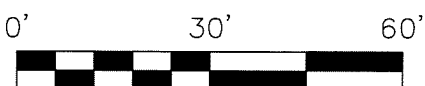
COVERAGE - MAX. BLD.: 15%
SETBACKS - FRONT YARD: 40 FT.
- REAR YARD: 40 FT.
- SIDE YARD: 15 FT.
HEIGHT - MAX. BLD.: 25 FT.

EXISTING CONDITION

LOT - AREA: 22,092 FT.²
- WIDTH: 123 FT.
COVERAGE - BLD.: 4,629 FT.² 21.0%

LEGEND

- FOUND MONUMENTATION ●
- SET MONUMENTATION ○
- RECORD MEAS. ———
- FIELD MEAS. - - - - -
- PROPERTY LINE ———
- EASEMENT LINE - - - - -
- PARCEL LINE ———
- STORM SEWER ———
- STORM MANHOLE ———
- STORM BASIN ———
- COMM. PEDESTAL ———
- FOUND CONC. MON. ———
- FOUND CAPPED IRON ———
- SET CAPPED IRON ———
- DECIDUOUS TREE ———



I, Michael J. Nowry, a Professional Surveyor in the State of Michigan do hereby Certify that the parcel of land described and delineated hereon has been surveyed under my supervision, that the plat hereon is a true representation of the survey as performed, that the error of closure is no greater than 1 in 5000 and that I have fully complied with the requirements of Section 3, Public Act 132 of 1970.

Michael J. Nowry Professional Surveyor # 52472

**Nowry & Hale
Land Surveying LLC**
192 N. Main St., Suite D, Plymouth, MI, 48170
Office: (734)446-5501 Email: nowryhale@yahoo.com

SECTION:	N.W. 1/4 Sec. 28	DATE:	07/27/20	CLIENT:
TN./RGE.:	3N./7E.	PROJ. #:	020-110	Aquatic Source LLC - Nick Shelton
CITY/TWP:	Highland	DWG. BY:	VP/JCP	190 Summit Street
COUNTY:	Oakland		1 INCH - 30 FEET	Brighton, MI 48116
				PAGE # 1 OF 1

NP

LO# 114

OAKLAND COUNTY HEALTH DIVISION

1200 N. Telegraph Rd., Pontiac 48341

27725 Greenfield Rd., Southfield, 48076

Subdivision PRESTWICK VILLAGE

07/30/96 9:27AM 001#0325

A01

\$95.00

Sidwell# 11-28-180-003

77056 SDH APPLICATION

CHECK

Pick up

FOR PERMIT TO INSTALL OR REPAIR A SEWAGE DISPOSAL SYSTEM

(Township, Village, City) HIGHLAND No. 1161 Street GLENEAGLES

New Home X No. of Bedrooms 3 Repair of System _____

Non-Residential Building Type _____ No. of Persons _____

Owner BILL & LYNN HESS Address 7660 LINDEN DRIVE City WEST BLOOMFIELD Zip 48324

Applicant TRIANGLE DEVELOPMENT Address 26649 W. 12 MILE City SOUTHFIELD Zip 48034

SIGNED: Frank Mustella Date 7-30-96 Telephone No. (810) 352-9333

SUBSOILS DATA: Make at least two borings into the soil about twenty-five (25) feet apart to at least a depth of seven and one-half feet in the area of the planned drain field. Soil borings for dry well installation must be at least twelve (12) feet deep.

Hole #A	Hole #2	Hole #3	Hole #4
<u>6</u> In. Topsoil _____	<u>10</u> In. Topsoil _____	In. Topsoil _____	In. Topsoil _____
<u>3 1/2</u> Ft. of <u>LOAMY SAND</u>	<u>2 1/2</u> Ft. of <u>LOAMY SAND</u>	Ft. of _____	Ft. of _____
Ft. of <u>5 STONE</u>	<u>1 1/2</u> Ft. of <u>COARSE SAND</u>	Ft. of _____	Ft. of _____
<u>4</u> Ft. of <u>MEDIUM TO COARSE SAND</u>	<u>1</u> Ft. of <u>FINE SAND</u>	Ft. of _____	Ft. of _____
Grnd. Water at _____ Ft.	Grnd. Water at _____ Ft.	Grnd. Water at _____ Ft.	Grnd. Water at _____ Ft.

BORING LOCATIONS MUST BE INDICATED ON ACCOMPANYING PLOT PLAN REPORTED SOIL CONDITIONS

CONFIRMED? YES NO Environmentalist Benny G. Wyatt Date 1-14-94

Two-Compartment Tank Recommended PERMIT Soils from Plot

Size of Septic Tank 1000 Gals; Lineal feet Drain Tile 240; Trench width 36 in.

Spacing C. to C. 8 Ft.; OR Drainage Bed consisting of _____ Sq. Ft. or _____ Drywells

of _____ Gals. each with _____ Ft. of stone totaling _____ Sq. Ft. of Absorption Area _____

Stipulations are listed below. The location and system design are indicated on attached scaled drawing which is part of this permit.

1. Locate drain field: AREA OF TEST HOLES REAR OF LOT 2. Cut all trenches 3 1/2 - 4 Ft. to MEDIUM TO COARSE SAND

Cut Drainage Bed 50% / 100% _____ Ft. to _____

3. CALL FOR A CUTDOWN INSPECTION PRIOR TO BACKFILLING when beginning INSTALLATION YES

Date of Mid-Inspection _____ by _____

4. Backfill with Clean, Coarse Sand to Grade of Tile Field _____

5. Other Describe: keep system ten (10) feet or more from all lot lines

If Denied, Indicate Reasons: _____

PERMIT: Approved Denied Hold Environmentalist Benny G. Wyatt Date 7-30-96

ACT 53 - P.A. 1974 Requires the applicant to notify the public utilities prior to excavation.

THIS PERMIT IS VOID TWO (2) YEARS FROM DATE OF ISSUE

POST ON JOB

HIGHLAND DATE OF ISSUE 7-30-96 PERMIT NO. 0001438

FINAL INSPECTION

INDICATE WHEN APPLICABLE THE FOLLOWING

- (a) Received engineer's signed affidavit regarding inspection and approval ()
 (b) Surveyor's level used to check inches of fall in tile lines (List fall on sketch or plan) ()

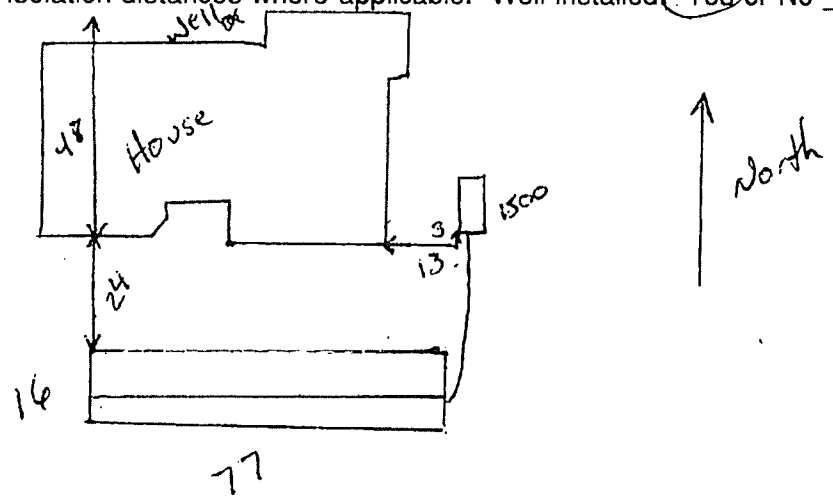
(A) SEPTIC TANK
 (1) Septic tank size 1500 gals. (2) Outlet "T: or "L: checked (3) Tank level
 (2) Tank/cover free of cracks (5) Outlet sealed 365° (6) Isolation distances:
 (a) Well 50' (b) Foundation 13 Remarks: 2-compartment tank

(B) TILE FIELD
 (1) Header level (2) Header installed on compact sand (3) Number of drain lines 3
 (4) Drain line length 77 ft. (5) Footer 16 ft. (6) Total lineal 247 ft.
 (7) Trench width 36 in. (8) 2" stone over and 6" under tile (9) Stone clean
 (10) Stone installed at least 4 ft. above water table (11) Grade of tile lines not greater than
 3"/100 ft. (12) Cutdowns to required depth 3-4' Remarks: Midcut not conducted -
However sand evident in piles - 2WS Sand under stone

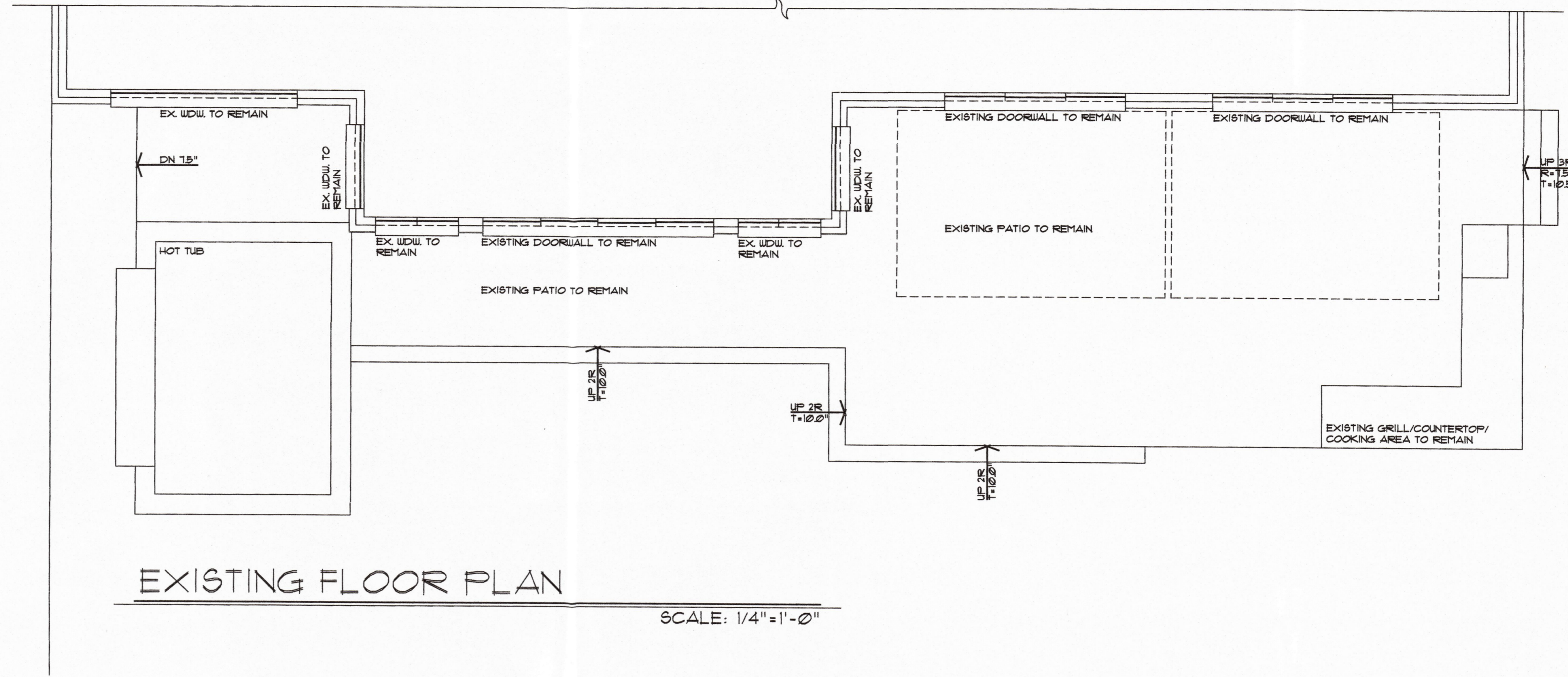
(C) DRAINAGE BED
 (1) Dimensions _____ ft. X _____ ft. (2) Total _____ sq. ft. (3) Header level _____
 (4) Tile lines 6' on center 2-3 ft. from edge of bed _____ (5) 2" stone over & 6" under tile _____
 (6) Stone clean _____ (7) Cutdown depth approved _____ (8) 2 ft sand over shelf for
 cutdown installations _____ (9) Proper sand fill _____ (10) Stone installed 4 ft. above water
 table _____ Remarks: _____

(D) DRYWELLS
 (1) To calculate the effective absorption area of one rectangular dry well, measure the two sides and the two ends
 of the excavated area and multiply the sum of these four sides by the water depth of the well + 6 inches.
 Side _____ ft., end _____ ft., depth _____ ft. Absorption area _____ sq. ft. No. of
 wells _____. Total absorption area _____ sq.ft. (2) 6" stone under _____
 (3) Drainage slots open _____ (4) Stone 4 ft. above water table _____ Remarks: _____

Sketch plan of installation showing house, street, North, water well by X, any lake, stream and A, B, C, D above. Indicate isolation distances where applicable. Well installed: Yes or No _____



Approved Disapproved _____ Permit # 1138 Date: 3-14-97
 Caller Tim Brendel Environmentalist Gregory Hasho
KBAC



EXISTING FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

DRAWING DESCRIPTION
 ● EXISTING FLOOR PLAN
 ● EXISTING REAR ELEVATION
 JOB #: 23-0801
 SHEET 2 OF 4

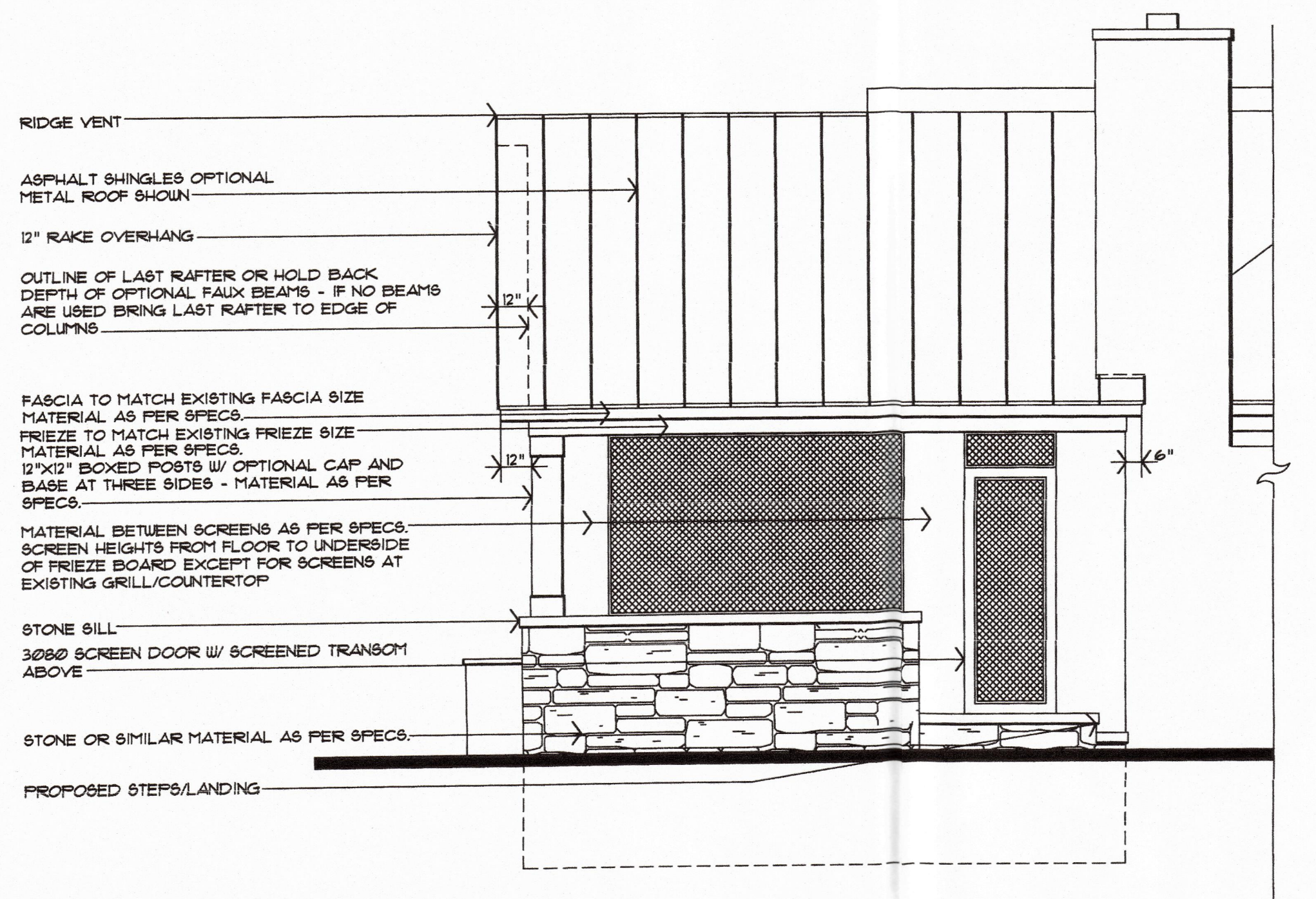
REVISIONS

DRAWING DATES

<input type="checkbox"/> PRELIMINARY	<input type="checkbox"/> FINAL DRAWINGS
DATE: 09/20/2023	DATE: 09/30/2023
<input type="checkbox"/> FLOT PLAN	DATE:

HOME PLAN PREPARED FOR:
 SCOTT AND MELODY CAMP
 1161 GLENEAGLES, HIGHLAND, MICHIGAN 48357
 BUILDER:

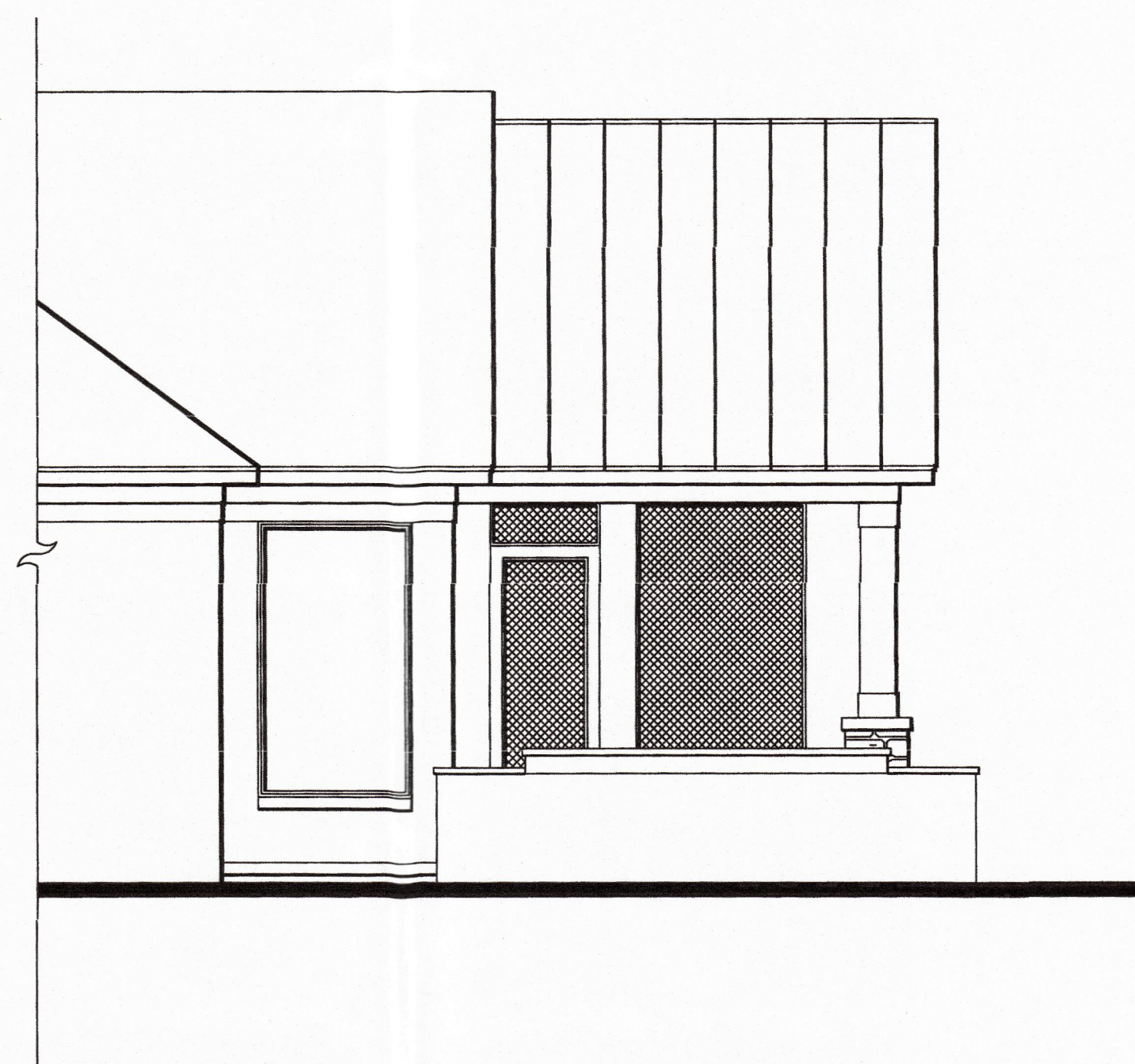
Designed By:
Vild Design Group, Inc.
 A Home Plan Design Company
 Phone: 248.755.6254
 Email: VildDesignGroup@yahoo.com



- RIDGE VENT
- ASPHALT SHINGLES OPTIONAL
METAL ROOF SHOWN
- 12" RAKE OVERHANG
- OUTLINE OF LAST RAFTER OR HOLD BACK
DEPTH OF OPTIONAL FAUX BEAMS - IF NO BEAMS
ARE USED BRING LAST RAFTER TO EDGE OF
COLUMNS
- FASCIA TO MATCH EXISTING FASCIA SIZE
MATERIAL AS PER SPECS.
- FRIEZE TO MATCH EXISTING FRIEZE SIZE
MATERIAL AS PER SPECS.
- 12"x12" BOXED POSTS W/ OPTIONAL CAP AND
BASE AT THREE SIDES - MATERIAL AS PER
SPECS.
- MATERIAL BETWEEN SCREENS AS PER SPECS.
SCREEN HEIGHTS FROM FLOOR TO UNDERSIDE
OF FRIEZE BOARD EXCEPT FOR SCREENS AT
EXISTING GRILL/COUNTERTOP
- STONE SILL
- 3080 SCREEN DOOR W/ SCREENED TRANSOM
ABOVE
- STONE OR SIMILAR MATERIAL AS PER SPECS.
- PROPOSED STEPS/LANDING

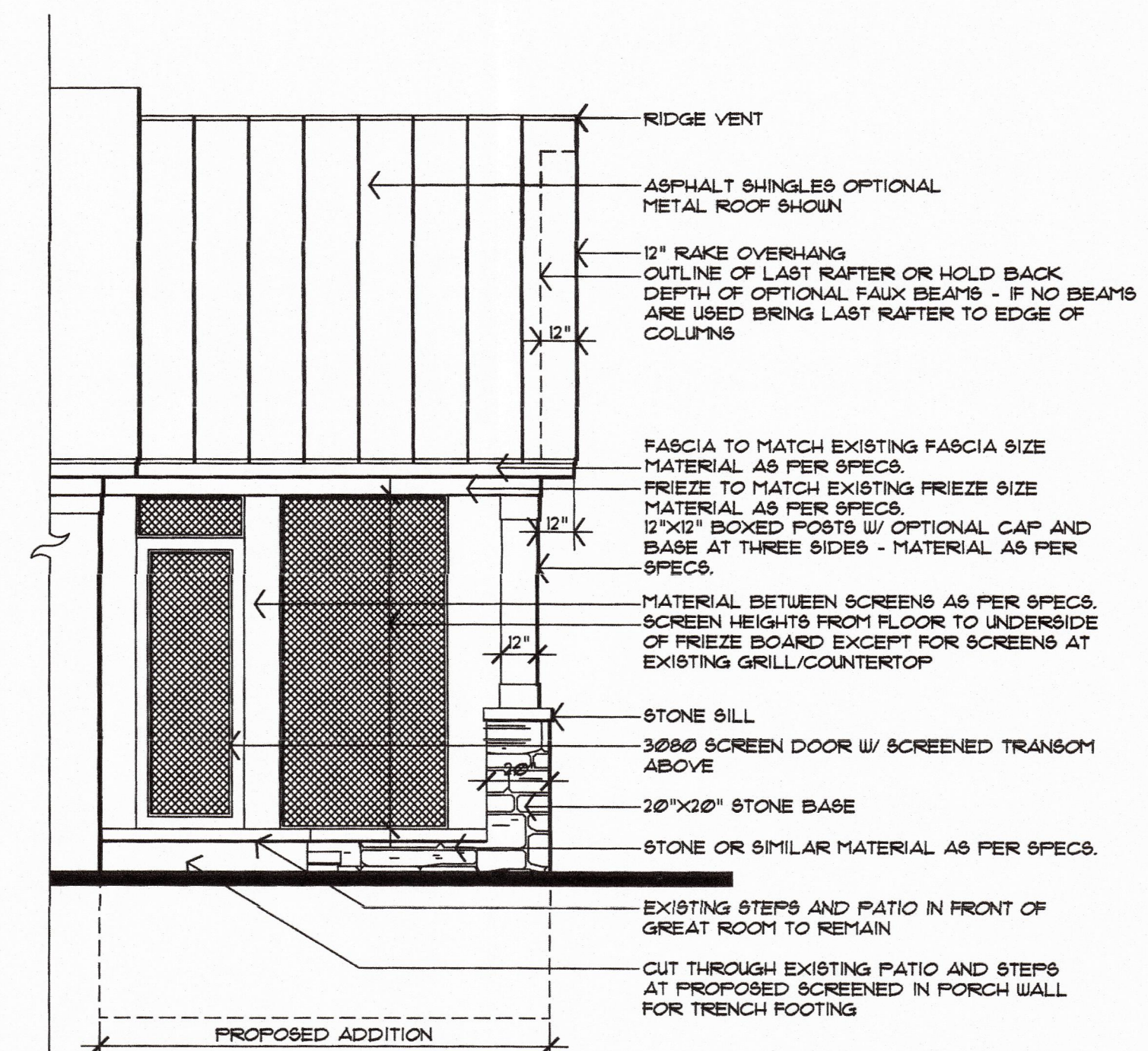
LEFT ELEVATION

SCALE: 1/4"=1'-0"



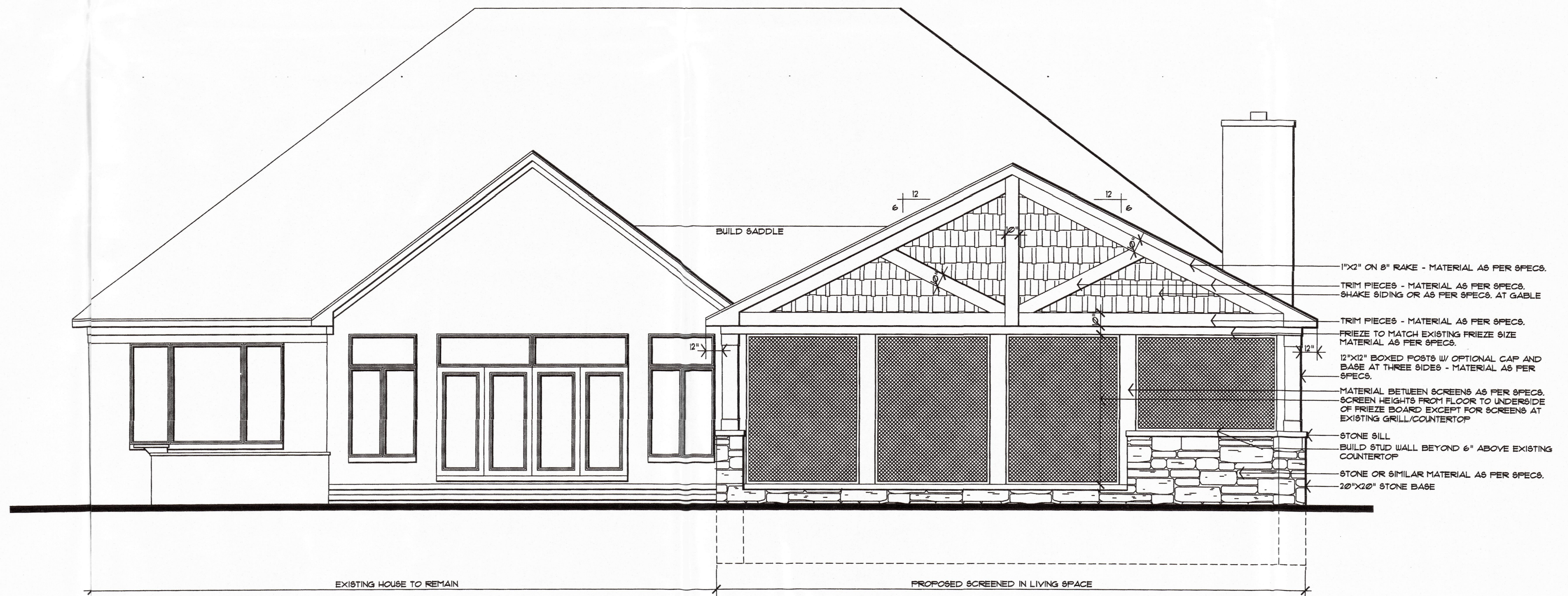
RIGHT ELEVATION
IN FRONT OF HOT TUB

SCALE: 1/4"=1'-0"



RIGHT ELEVATION
BEYOND HOT TUB

SCALE: 1/4"=1'-0"



PROPOSED REAR ELEVATION

SCALE: 1/4"=1'-0"

- 1"x2" ON 8" RAKE - MATERIAL AS PER SPECS.
- TRIM PIECES - MATERIAL AS PER SPECS.
SHAKE SIDING OR AS PER SPECS. AT GABLE
- TRIM PIECES - MATERIAL AS PER SPECS.
- FRIEZE TO MATCH EXISTING FRIEZE SIZE
MATERIAL AS PER SPECS.
- 12"x12" BOXED POSTS W/ OPTIONAL CAP AND
BASE AT THREE SIDES - MATERIAL AS PER
SPECS.
- MATERIAL BETWEEN SCREENS AS PER SPECS.
SCREEN HEIGHTS FROM FLOOR TO UNDERSIDE
OF FRIEZE BOARD EXCEPT FOR SCREENS AT
EXISTING GRILL/COUNTERTOP
- STONE SILL
- BUILD STUD WALL BEYOND 6" ABOVE EXISTING
COUNTERTOP
- STONE OR SIMILAR MATERIAL AS PER SPECS.
- 12"x12" STONE BASE

DRAWING DESCRIPTION

- PROPOSED ELEVATIONS

REVISIONS

NO.	DESCRIPTION	DATE

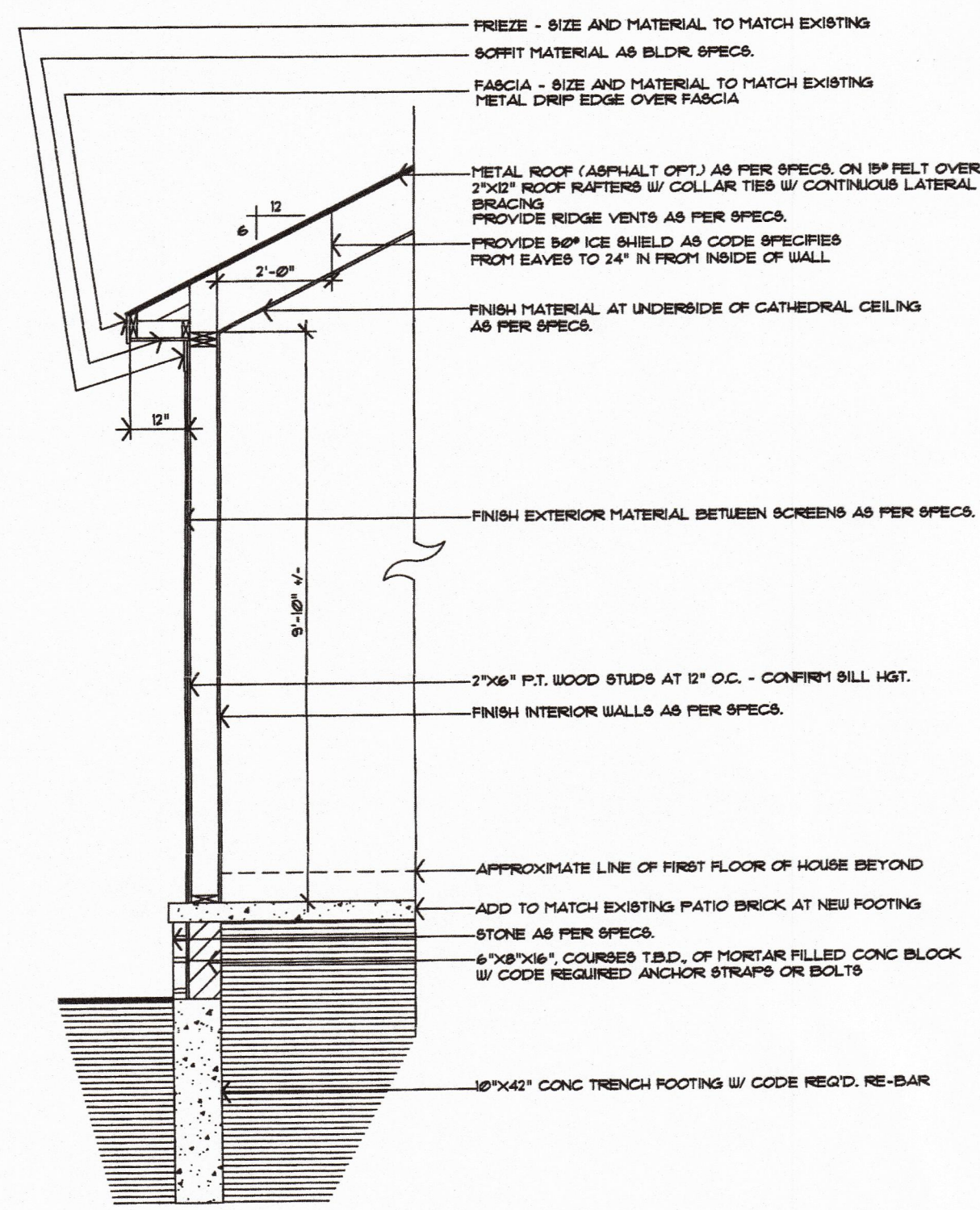
DRAWING DATES

- PRELIMINARY
- DATE: 09/20/2023
- FINAL DRAWINGS
- DATE: 09/30/2023
- PLOT PLAN
- DATE:

HOME PLAN PREPARED FOR:
SCOTT AND MELODY CAMP
1161 GLENEAGLES, HIGHLAND, MICHIGAN 48357

BUILDER:

Designed By:
Vild Design Group, Inc.
A Home Plan Design Company
Phone 248.755.6254
Email: VildDesignGroup@yahoo.com

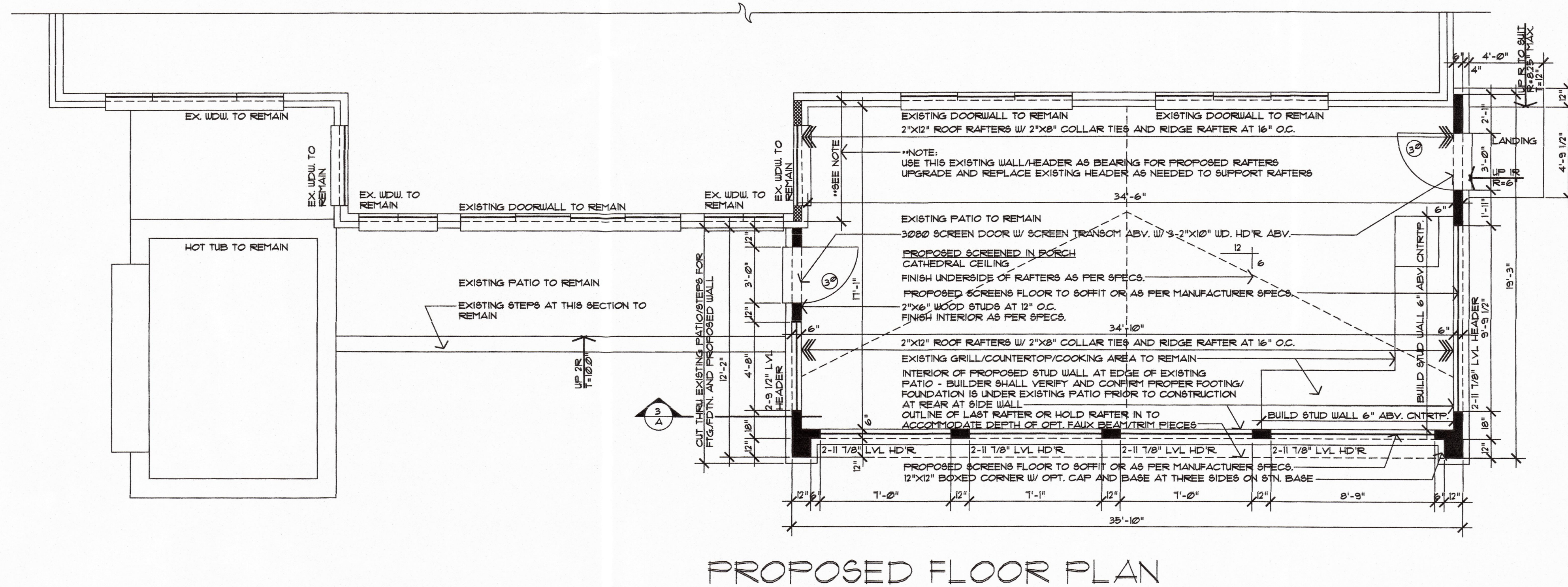


WALL SECTION "3-A"

SCALE: 3/8" = 1'-0"

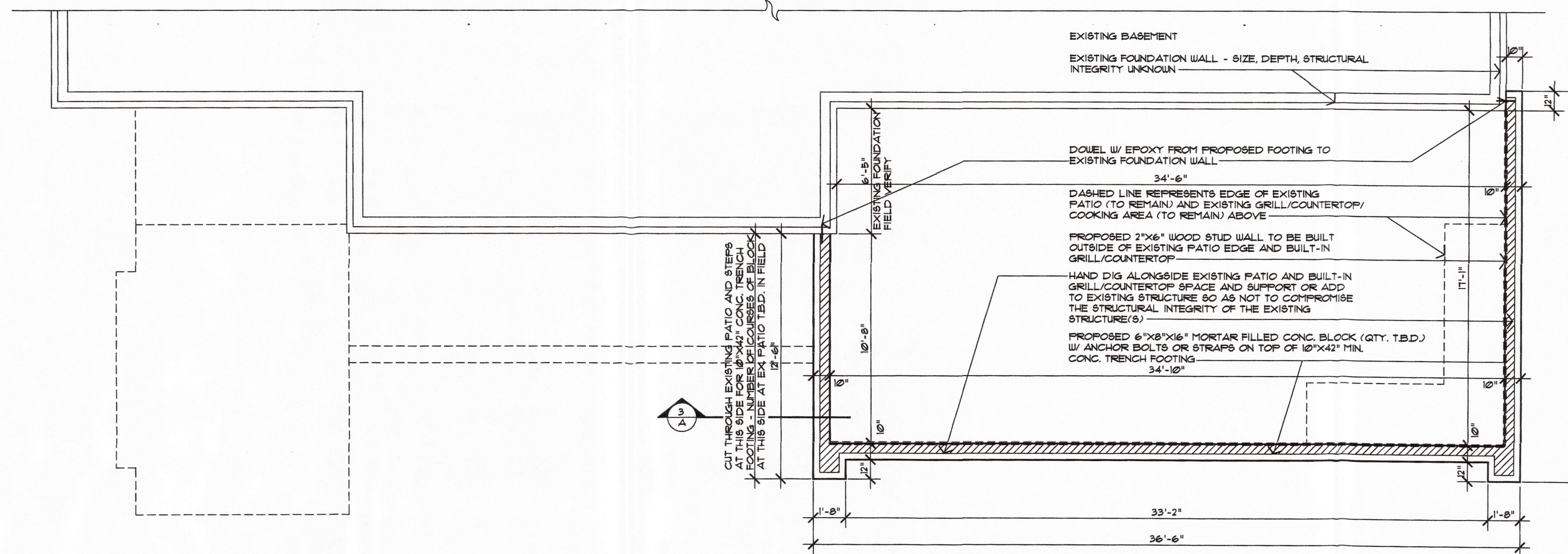
GENERAL NOTES REGARDING EXISTING/PROPOSED

- **ALL EXISTING FLOOR JOISTS SHALL BE INSPECTED BY BUILDER AND REPLACED AS REQUIRED.
- **HEIGHTS OF EXISTING AND PROPOSED FLOOR JOISTS SHALL BE EQUAL SO FLOORS ARE FLUSH
- **DESIGNER HAS NO KNOWLEDGE OF EXISTING FLOOR JOIST SIZE, CONDITION, LAY-OUT, ETC. AND SHALL NOT BE RESPONSIBLE.
- **DESIGN OF FOUNDATION AND FLOOR SYSTEM MAY BE ALTERED DEPENDING ON EXISTING FLOOR JOISTS AND STRUCTURE.
- **EXISTING FOUNDATION TYPE, DEPTH, SIZE, CONDITION IS UNKNOWN
- **BUILDER SHALL CONFIRM EXISTING FOUNDATION TYPE, DEPTH, SIZE, CONDITION, ETC. PRIOR TO CONSTRUCTION
- **DESIGNER SHALL NOT BE RESPONSIBLE FOR EXISTING CONDITIONS
- **CONDITION OF EXISTING FLOOR SYSTEM, SUB FLOOR, ETC. SHALL BE INSPECTED PRIOR TO CONSTRUCTION
- **REPAIR/REPLACE/RE-BUILD EXISTING AS NEEDED
- **EXISTING STEEL OR SUPPORT BEAMS ARE UNKNOWN AT EXISTING FOUNDATION AREA
- **DRAWING IS TO BE USED AS SCHEMATIC REFERENCE ONLY FOR FOUNDATION AREA
- **A STRUCTURAL ENGINEER MAY BE NEEDED WHEN EXISTING STRUCTURE IS UNKNOWN
- **DESIGN OF PROPOSED FOUNDATION MAY BE ALTERED DEPENDING ON EXISTING FOUNDATION.
- **ALL DIMENSIONS SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
- **DESIGNER SHALL NOT BE RESPONSIBLE FOR EXISTING FOUNDATION CONDITIONS AND RECOMMENDS PROFESSIONAL STRUCTURAL ENGINEER INSPECT EXISTING STRUCTURE AND ANALYZE PROPOSED AND REDESIGN AS NEEDED TO ACCOMMODATE EXISTING CONDITIONS.



PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



PROPOSED FOOTING PLAN

SCALE: 1/4" = 1'-0"

Designed By:

Vild Design Group, Inc.

A Home Plan Design Company
 Phone: 248.755.6254
 Email: VildDesignGroup@yahoo.com

HOME PLAN PREPARED FOR:

SCOTT AND MELODY CAMP
 1161 GLENEAGLES, HIGHLAND, MICHIGAN 48951

BUILDER:

REVISIONS

NO.	DESCRIPTION	DATE

DRAWING DATES

<input type="checkbox"/> PRELIMINARY	DATE: 09/20/2023
<input checked="" type="checkbox"/> FINAL DRAWINGS	DATE: 09/20/2023
<input type="checkbox"/> PLOT PLAN	DATE:

DRAWING DESCRIPTION

- FOOTING AND FLOOR PLAN
 - WALL SECTION
- JOB #: 23-0801
 SHEET 3 OF 4

The Prestwick Village Neighborhood Association Application for Approval Form

(Revised 5-5-2022)

Property Owners Name: Scott & Melody Camp Date: 10/5/2023

Property Address: 1161 GLENDALES

Unit Number: _____ Prestwick Village: (or) Woods of Prestwick: _____

Owners Address: SAME

Phone #: 810 560 1500 Fax: _____

E-mail: SCAMP @ AQUATIC SOURCE. COM

Work Requiring Approval:

- New House Plans
- Landscaping
- Play Set / House
- Deck / Patio
- House Addition
- TV Antenna / Dish
- Flag pole
- All external changes to unit.
- External Paint Change
- Swimming Pool
- Fencing (including decorative)

Please submit appropriate drawing, picture, color charts, site plan, etc. to explain the work to be done. Blueprints must include elevations. Include Builder's Name with House plans and additions

Work to be done: COVER PATIO

Please continue on the reverse side of this form or use additional sheets.

Starting Date: MARCH 2024 Completion Date*: MAY 2024

This application and the necessary information must be submitted to JL Gardel via email at (office@JLGardel.com). If necessary, samples and/or plans can be left with the Office Manager (Connie Sikma) at the Prestwick Village Golf Clubhouse, but this must also be communicated to JL Gardel via email at (office@JLGardel.com).

*Property owners failing to meet the Completion Date are subject to fines as outlined in the Bylaws unless an extension is requested by contacting JL Gardel. Failure to seek approval may result in abatement/fines as outlined in the Bylaws.

.....
The following to be completed by the Architectural Committee and signed by two committee members.

Project Approved: Project Denied: _____ Additional Info Required: _____

Signature: [Signature] Date: 10-6-23

Signature: _____ Date: _____

1161 Gleneagles
Highland MI 48357-4781

View: Front

Structure: Primary

Photo Date: 03/29/2013



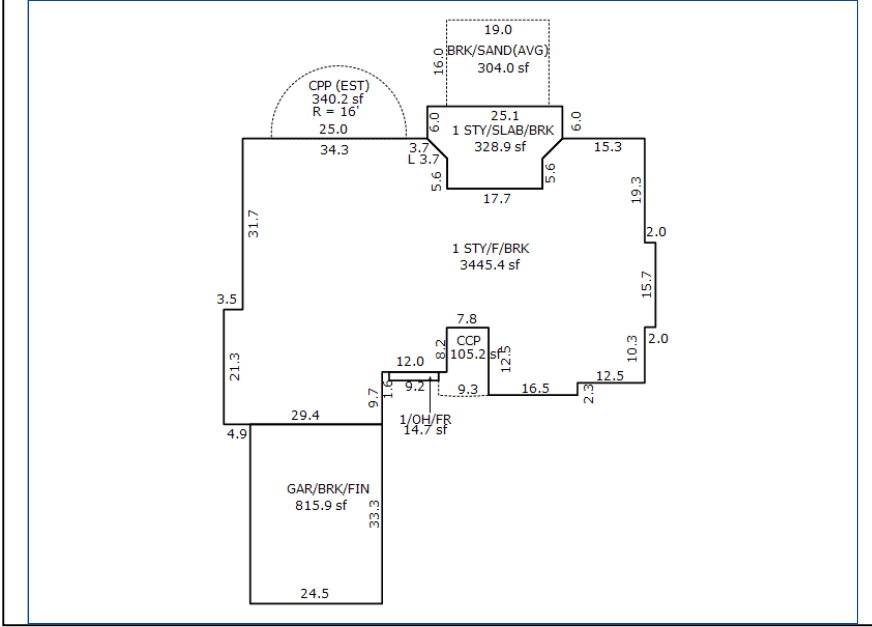
Parcel Sketch View

Charter Township of Highland (H)

Page Print Layout: 2 per page

PIN: 11-28-180-003

PRINT DATE: 1/2/2024



1161 GLENEAGLES HIGHLAND MI 48357-4781



4 beds / 3 full baths / 1 half baths / 3789 sq ft

Residential Property Profile

11-28-180-003

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Owner Information

Owner(s) : SCOTT CAMP & MELODY A CAMP
Postal Address : 1161 GLENEAGLES HIGHLAND MI 48357-4781

Location Information

Site Address : 1161 GLENEAGLES HIGHLAND MI 48357-4781
PIN : 11-28-180-003 Neighborhood Code : KPW
Municipality : Charter Township of Highland
School District : 63220 HURON VALLEY SCHOOLS
Class Code : 407 Residential Condominiums

Property Description

T3N, R7E, SEC 27, 28 & 29 OAKLAND COUNTY CONDOMNIUM PLAN NO 875 PRESTWICK VILLAGE UNIT 114
L 14881 P 253 8-24-94 FR 100-003

Split/Combination Information

Added Status : Added Parcel
Added Date : 10/14/1994 Added From : FR 100-003

Most Recent Sale Since 1994

Date : 11/27/2019
Amount : \$525,000 Liber : 53586:772
Grantor : LESZCZYNSKI, JODIE Grantee : CAMP, SCOTT
LESZCZYNSKI, DAVID CAMP, MELODY A

Next Most Recent Sale

Date : 04/30/2010
Amount : \$425,000 Liber : 42112:341
Grantor : HESS JR, WILLARD C
HESS, WILLARD
HESS, VERONICA Grantee : LESZCZYNSKI, JODIE

1161 GLENEAGLES HIGHLAND MI 48357-4781



4 beds / 3 full baths / 1 half baths / 3789 sq ft

Residential Property Profile

11-28-180-003

Note: Please be advised the data included in Property Gateway originates from multiple local municipalities. Data, in regard to properties, may be classified and updated differently by municipalities. If you have any questions, please contact the local community where the data originated.

Tax Information

Taxable Value	: \$241,000	State Equalized Value	: \$270,920
Current Assessed Value	: \$270,920	Capped Value	: \$241,000
Effective Date For Taxes	: 12/01/2023	Principal Residence Exemption Type	: N/A
Summer Principal Residence Exemption Percent	: 100%	Winter Principal Residence Exemption Percent	: 100%
Taxes		Taxes	
Summer	:	Summer	:
Winter	:	Winter	:
Village	:	Village	:

Lot Information

Description	: ROLLING	Area	: 0.507 ACRES
-------------	------------------	------	----------------------

Primary Structure

Structure	: Ranch	Living Area	: 3789 SQ FT
Ground Floor	: 3774 SQ FT	Year Built	: 1996
Effective Year	: 1996	Remodel Year	: 0
Stories	: 1 Story	Rooms	: 11
Bedrooms	: 4	Full Baths	: 3
Half Baths	: 1	Fireplaces	: 1
Ext Walls	: Brick	Basement	: YES - FULL
Garage	: ATTACHED - 3 car (816 SQ FT)	Heat	: Forced Heat & Cool
Fuel Type	: Gas	Central Air	: Yes

Basement Information

Finish	: UNFINISHED	Area	: 0 SQ FT
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Porch Information

Type	Area
CCP (1 Story)	105 SQ FT
CPP	340 SQ FT